



**CITY OF DORAL
PUBLIC ARTS PROGRAM
ARTIST AND ARTWORK INFORMATION FORM**

This form is to be completed by the Artist and submitted to the Public Arts Coordinator in the Planning and Zoning Department with your building plan at the time of applicant submittal.

1. Artist Name: Michael Benisty
Address: N/A
City/State: N/A
Telephone: 646-637-5604 Email Address: benistyart@gmail.com
(Note: Enclosed the Artist Resume and Statement which defines the thought process that inspired the development of the proposed artwork.)

2. Description of the Site: 71,000 SQ FT warehouse building consisting of approx. 56,000 SQFT of warehouse space and 15,000 SQFT of office.

3. Description of the Proposed Artwork (Include Rendering, Maquette, Drawing, Etc.):
A polygonal metal couple with partial breaking points holding hands standing on a base platform shaped as a diamond.

4. Dimensions of Artwork: 2 meters tall

5. Description of Art Project Foundation or Base: Foundation of base is flat heavy and sturdy. It is shaped as a diamond.

6. Location of Artwork (Provide Site Plan): Front of Building

7. Landscape Description: Grass and palm trees

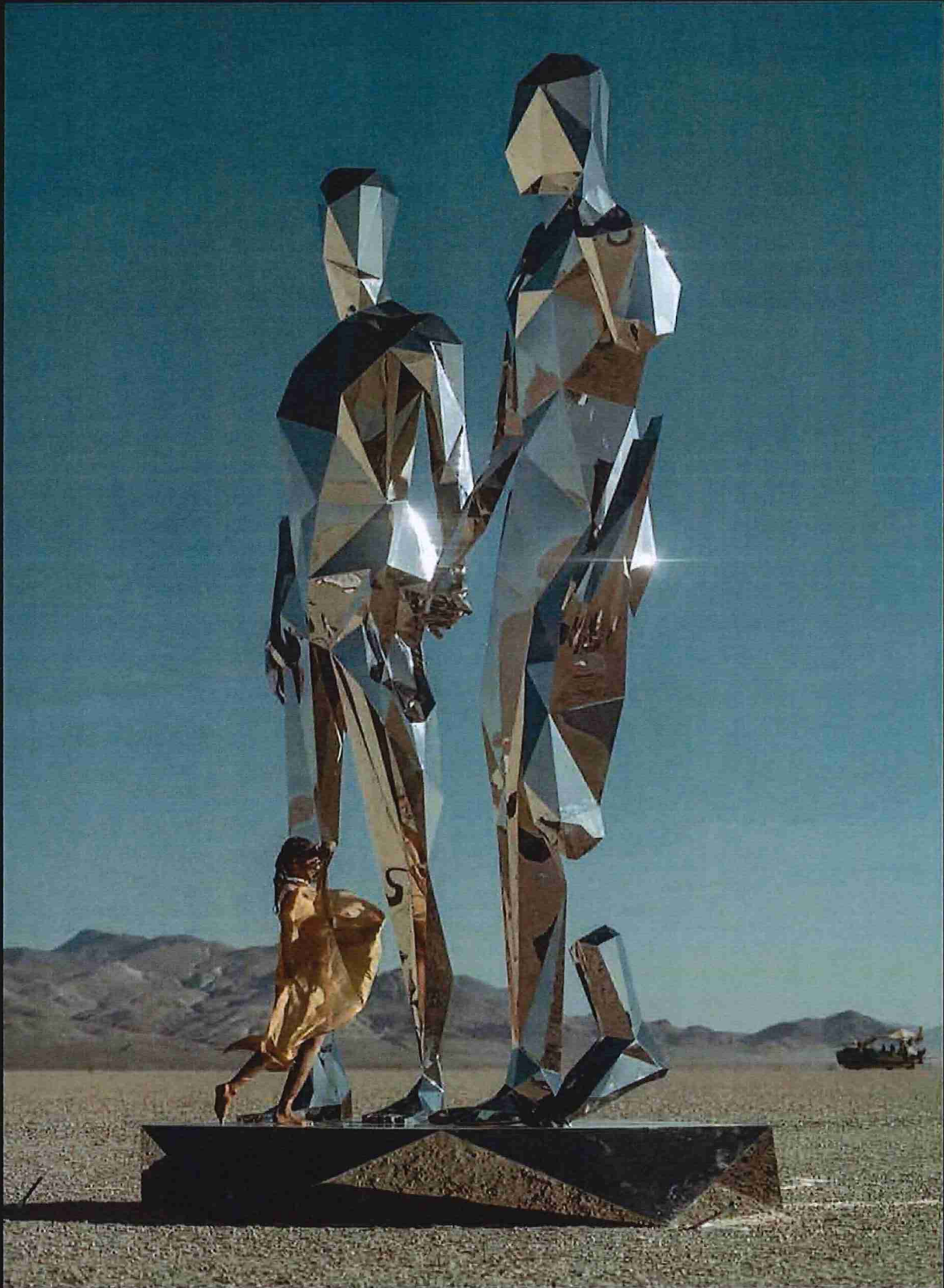
8. Lighting Description: landscaping and site lighting.

9. Maintenance Description: polished steel - no need for any kind of maintenance.

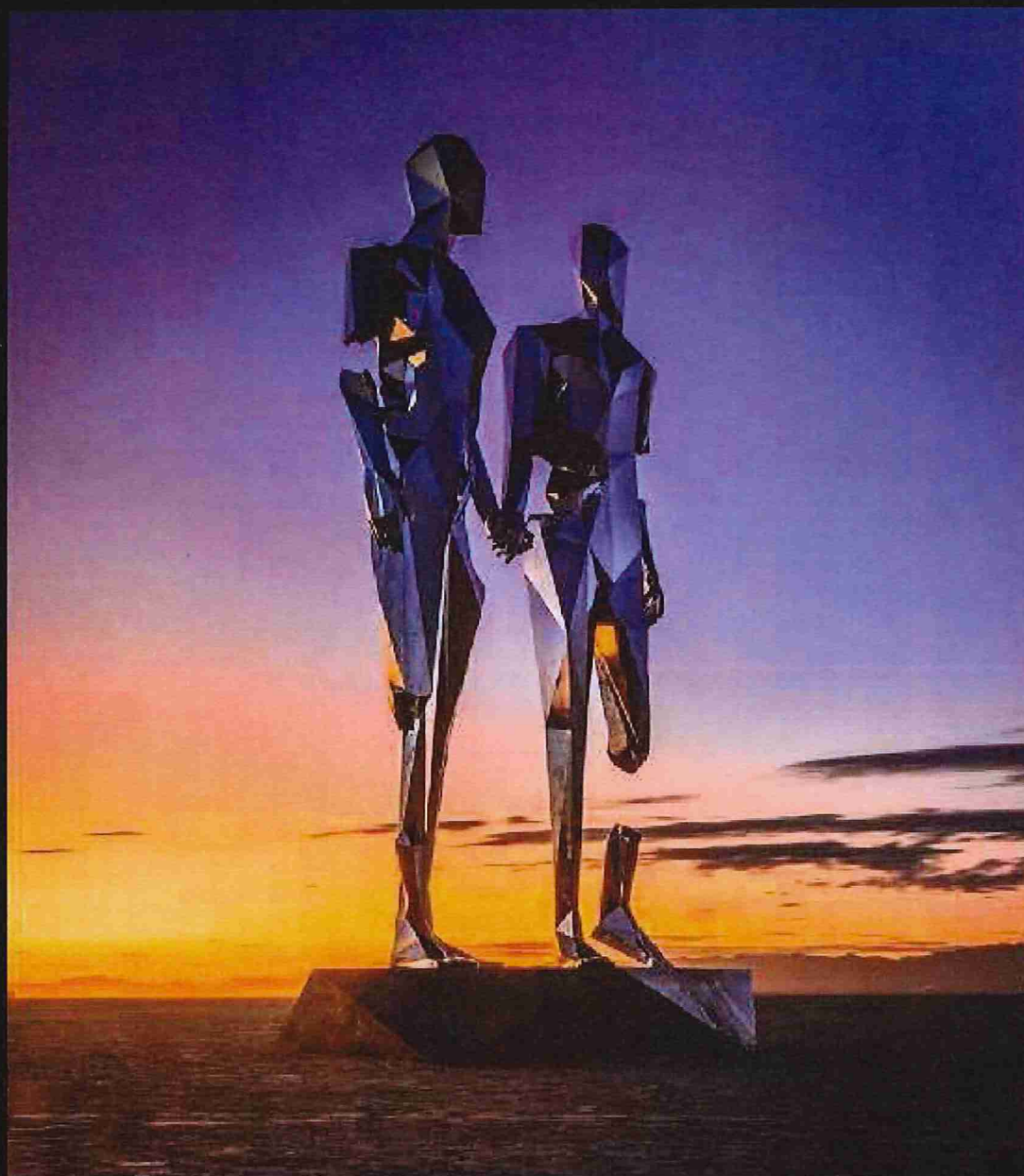
(Note: All artwork placed on the site of a development project shall remain the property of the owner of the site; artwork acquired by the City pursuant to Section 75-106 shall remain the property of the City. The obligation to provide all maintenance necessary to preserve and maintain the artwork in good condition shall remain with the owner of that site and the owner's successors and assignee, unless agreed to otherwise by resolution of the City Mayor and Council. Application for such request and all associated fees with processing same shall be borne by the applicant.)

10. Artwork Selling Price: \$ 115,000.00

BROKEN BUT TOGETHER



BY MICHAEL BENISTY



MIRROR POLISHED STAINLESS STEEL

18 FEET HEIGHT

EDITION OF ONE



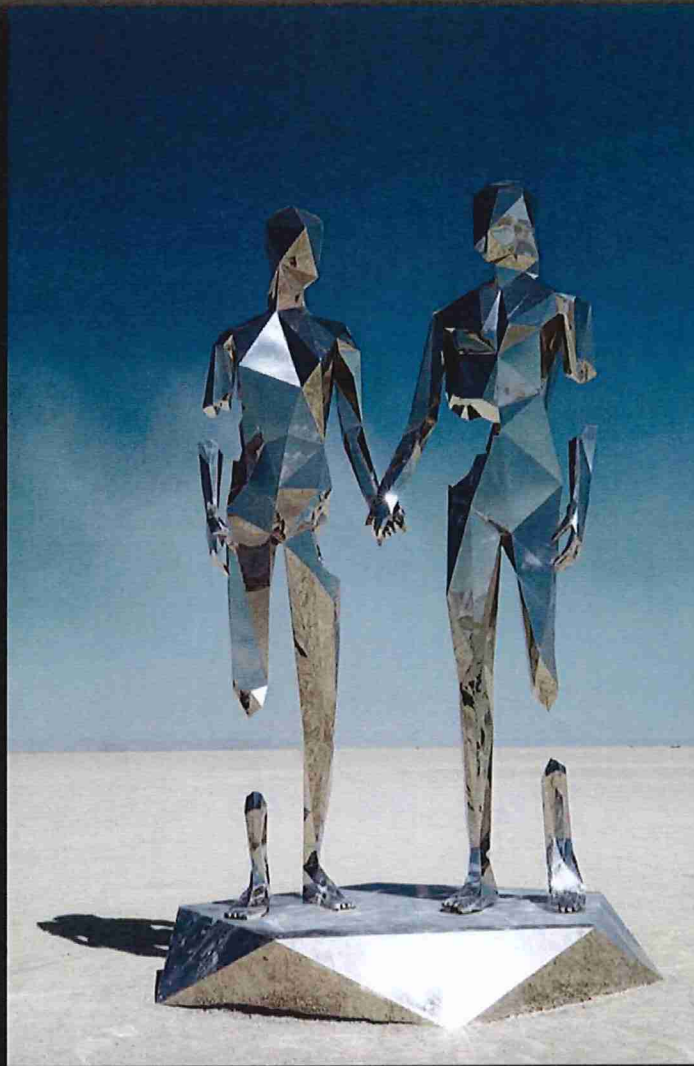
Evolution is amongst us, I find solace in your hand.

BROKEN BUT TOGETHER

In continuation of “In Every Lifetime I will Find You”,
presented at Burning Man 2018, “Broken But Together”
represents a more fragile side to relationships.

As humans we are destined to live our individual paths,
but by nature our stories become entwined within others.

The complexities of love and growth are expressed
within this symbol of unity and protection.



“Beginning my journey as an artist,
I dreamt of making a change in the world.”

Throughout the evolution of my work, in sculptures and installations, I've been honored to witness my pieces transform into community spaces that become filled with global dialogue and self-expression without barriers.

I've learned to regard my art as to what it means to others, as I now find inspiration in human evolution.

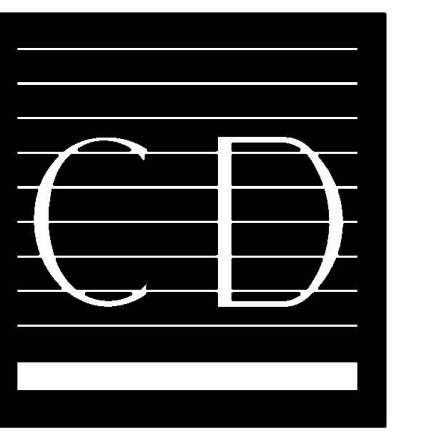
My intention to combine humanity, spirituality,
nature and mythicism is not just to build something beautiful,
but rather to create an experience that encourages growth and discovery.

I see my work as both iconic and holistic— with bold pieces that radiate and react to all environments they're placed in.





MICHAEL BENISTY



CARLOS DIAZ ARCHITECTURE LLC

AA 26003972

ARCHITECTURE

1526 NW 89th CT
MIAMI, FLORIDA 33172
TEL: 305 599 2888
FAX: 305 599 3885

CARLOS DIAZ ARCHITECTURE LLC
The Design and Drawings for this Project are the property of the Architect, and are protected under the Copyright Protection Act.

ARCHITECTURE

ALEJANDRO PARDO
AR26134
806 NW 89th CT.
MIAMI, FL 33172
PH: (305) 959-2888

NEW BUILDING FOR:

FARMASI USA

10780 NW 27th STREET
DOCKAL, FLORIDA 33172

OWNER INFORMATION:

FORTUNA REAL ESTATE LLC
C/O BOK CONSTRUCTING
6500 FORBES ROAD, SUITE 101
FORT LAUDERDALE, FL 33309
PH: (954) 843-6400

SITE PLAN, GENERAL NOTES AND STATISTICS

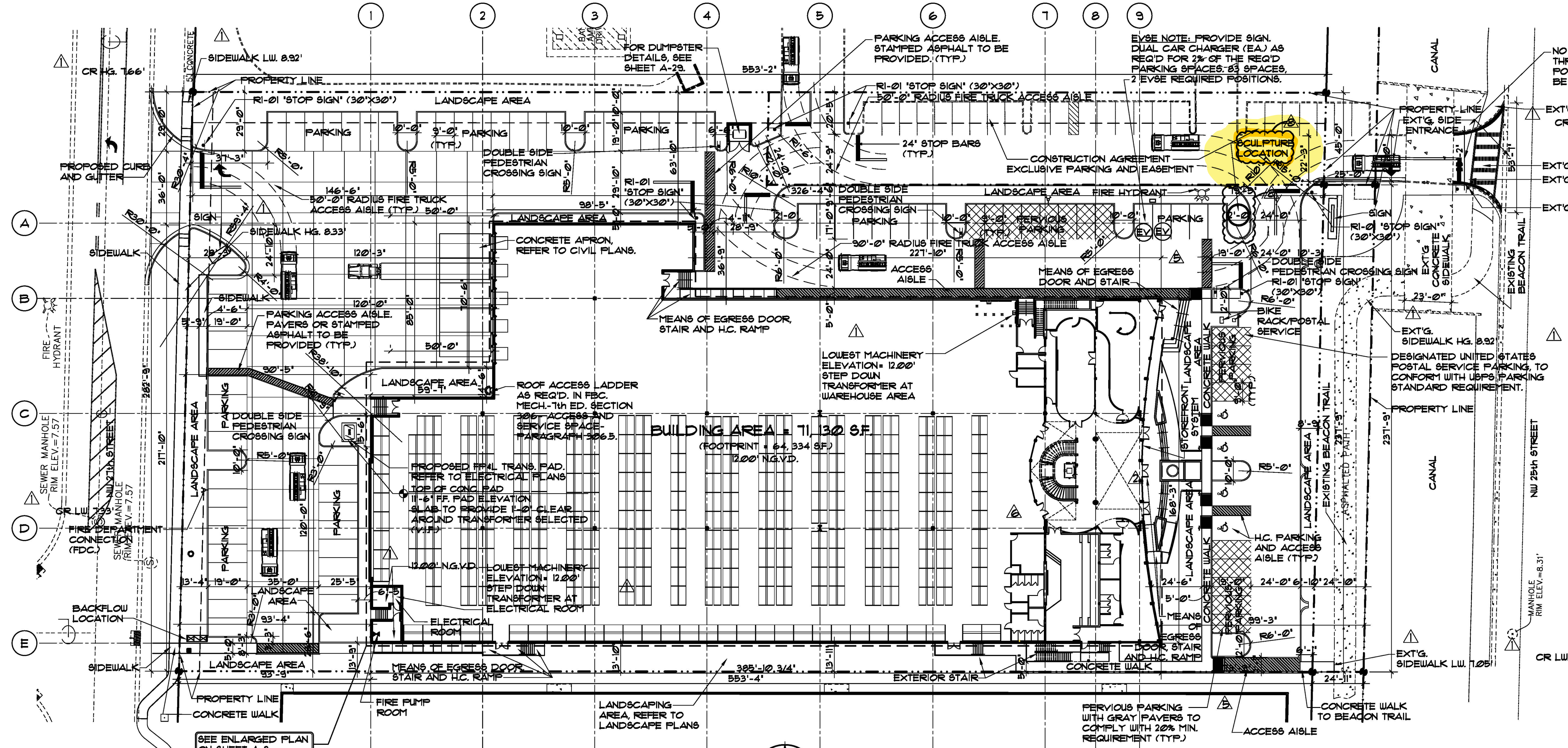
SCALE AS NOTED
PROJECT NO. 21096
DATE 01-14-22

REVISIONS:
REV. 03-15-22 BLDG. DEPT. COMM.
REV. 03-31-22 BLDG. DEPT. COMM.
REV. 04-14-22 OWNER'S REQUEST
REV. 04-21-22 OWNER'S REQUEST
REV. 05-05-22 SCULPTURE LOCATION

SHEET

A-1

OF 55



SITE PLAN

SCALE: 1" = 30'-0"

GENERAL NOTES:

CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER, COMPLYING WITH THE OWNER AGREEMENT.

- 1. THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL...
2. THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR THE CONSTRUCTION AND OCCUPANCY OF THE PROJECT.
3. ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER...
4. THE CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTARY MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS...
5. THE CONTRACTOR SHALL REPAIR AND PAINT EXISTING SURFACES DAMAGED BY DEMOLITION COVERED WITHIN THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER...
7. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EQUIPMENT AND UTILITIES TO BE REMOVED...
8. CLEANING: REMOVE RUBBISH AND DEBRIS DAILY. LEAVE JOB CLEAN UPON COMPLETION OF WORK...

- 9. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS...
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK, INCLUDING, BUT NOT LIMITED TO VANDALISM, THEFT, ETC. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OWNER AND HIS TENANT'S PROPERTY...
11. UTILITIES: THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITIES INCLUDING ELECTRICITY, WATER AND TELEPHONE.
12. THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
13. THE CONTRACTOR SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.
14. CONTRACTOR SHALL COORDINATE WITH CABINET SUB-CONTRACTOR AND SHALL SUPPLY ALL NECESSARY SUPPORTS AND BLOCKING REQUIRED LEAVING ALL SURFACES READY TO RECEIVE CABINETS AND/OR SUBSEQUENT FINISHES AS REQUIRED.
15. OUTSIDE CORNER AND ALL PARTITIONS SHALL HAVE CORNER BEADS.
16. FOR WALL HUNG CABINET & PLUMBING FIXTURES PROVIDE THE FOLLOWING:
A- PROVIDE 3 5/8" MTL. STUDS (20 GA MIN.) AT 16" O.C. RIGIDLY CONNECTED TOP & BOTTOM.
B- PROVIDE 2X4" MIN. P.T. 4 FT. WOOD BLOCKING ALONG FULL LENGTH OF METAL STUD. 4 A MIN. 2X4" HORIZONTAL FT. 4 FT. WOOD MEMBER SECURELY FASTENED TO NOT LESS THAN TWO STUDS.
17. PROVIDE FIRE RETARDANT TREATED WOOD STUD BACKING IN WALL CAVITY TO SUPPORT WALL MOUNTED DOOR STOPS, GRAB BARS, AND MISC. ITEMS. COORDINATE HEIGHT ABOVE FLOOR.
18. THE CONTRACTOR IS TO PREPARE THE JOB SITE PARTITION LAYOUT FOR REVIEW OF THE ARCHITECT PRIOR TO ERECTING PARTITIONS.
19. THE WORDING 'ALIGN' DENOTES GYPSUM BOARD SHEETING OVER FACE OF BASE BUILDING COLUMNS AND WALL SURFACES AT JUNCTION WITH INTERIOR PARTITION TO ALIGN THE TWO DISSIMILAR PARTS AND PROVIDE A SMOOTH CRACK FREE SURFACE (TYPICAL ALL CONDITIONS).
20. WHERE DISSIMILAR METALS COME IN CONTACT, CONTRACTOR IS TO PREVENT VIBRATIONS AND NOISE TRANSMISSION BETWEEN THE METALS AND ELECTROLYTIC ACTION.
21. PROVIDE DOUBLE STUDS AT ALL DOOR JAMBS.
22. INTERIOR PARTITIONS SHALL BE OF THICKNESS INDICATED ON THE DRAWINGS.
23. ALL GYPSUM BOARD TO BE USED IN WET AREAS SHALL BE MOISTURE RESISTANT TYPE AND TO RECEIVE TWO COATS OF EPOXY PAINT.
24. ALL GYPSUM BOARD SHEATHING SHALL BE 5/8" THICKNESS (UNLESS OTHERWISE NOTED).
25. ALL APPLICABLE RECOGNIZED NATIONAL CONSTRUCTION INDUSTRY STANDARDS FOR MATERIALS AND INSTALLATION SHALL BE A FULL PART OF THESE CONTRACT DOCUMENTS.
26. ALL FIRE STOPPING WORK SHALL COMPLY WITH U-L-1164 AND HU-D-2042 AND SHALL BE SUBJECT TO THE CONTROLLED INSPECTION REQUIREMENTS OF THE LOCAL BUILDING CODE.
27. ONE FIRE EXTINGUISHER PER 3,000 SF. CLASS ABC SHALL BE PROVIDED. TO BE INSTALLED BY CONTRACTOR AT LOCATIONS SHOWN ON PLAN WITH SYMBOL 'FE' AND NOT TO EXCEED 75' BETWEEN EACH OTHER SUBMIT SPEC'S FOR APPROVAL BY ARCHITECT/ENGINEER.
28. ALL WORK SHALL BE PERFORMED TO MEET AND COMPLY WITH THE FLORIDA BUILDING CODE SEVENTH EDITION AND FLORIDA BUILDING CODE SEVENTH EDITION - ACCESSIBILITY.
29. CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL VALVES, ETC. AS REQUIRED THROUGHOUT PROJECT.
30. CONTRACTOR SHALL ACQUAINT HIMSELF WITH THESE DOCUMENTS AND THE SITE. ANY OVERSIGHT OF CONFLICTS HEREIN NOT REPORTED IN WRITING TO THE ARCHITECT/ENGINEER PRIOR TO BIDDING, SHALL NOT ENTITLE THE CONTRACTOR TO AN EXTRA.
31. DIMENSIONS AS INDICATED ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALING OF THE DRAWINGS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE CALCULATED BY COMPUTER AND ARE ROUNDED TO THE NEAREST INCH. THE LOCATION OF PARTITIONS TO THE CENTERS OF MULLIONS OR TO ALIGN WITH EXISTING WALLS SHALL TAKE PRECEDENCE OVER WRITTEN DIMENSIONS WHEN SO NOTED. ALL DIMENSIONS SHALL BE FIELD VERIFIED. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DIMENSIONS THAT ARE IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
32. RETREAT SOIL WITHIN AREAS DISTURBED DURING ALTERATION OF SLAB FOR PLUMBING/ELECTRICAL TRENCHES. PROVIDE TERMITHE PROTECTION FOR SOIL IN ACCORDANCE WITH SECTION 1916.1 AND 1916.12 OF F.B.C. SEVENTH EDITION.
33. THIS PROJECT IS PURSUING FGBC COMMERCIAL BUILDING STANDARD V3 BRONZE CERTIFICATION. ALL CONTRACTORS WITH SCOPE CONTRIBUTING TOWARDS THE FGBC REQUIREMENTS SHALL BE RESPONSIBLE FOR DOCUMENTING AND EXECUTING ALL ACTIVITIES AS DIRECTED BY SECTION 0813 OF THE SPECIFICATION BOOK - SUSTAINABLE DESIGN REQUIREMENTS FOR FURTHER INFORMATION.

NOTE: OWNER WITH CONTRACTOR'S ASSISTANCE SHALL OBTAIN FPL APPROVAL IN WRITING FOR ANY WORK ON THE FPL UTILITY EASEMENT FOR COORDINATION, IF REQUIRED.

FLOOD LEGEND: FLOOD ZONE: AH ELEVATION 6 FLOOD PANEL: 12086C0286L FINISH FLOOR ELEVATION: +12.00' HIGH AND LOW ELEVATIONS OF THE BACK OF ALL SIDEWALKS ABUTTING THE PROPERTY: NU 27TH STREET: HG = 8.33 LU = 7.82' NU 25TH STREET: HG = 8.60' LU = 7.05' HIGH AND LOW ELEVATIONS OF THE CROWN OF ALL ROADS: NU 27TH STREET: HG = 7.66 LU = 7.33' NU 25TH STREET: HG = 8.32' LU = 6.63' PROPOSED LOWEST FLOOR ELEVATION OF FIRE PUMP ROOM AND ELECTRICAL ROOM = 12.00' PROPOSED LOWEST MACHINERY ELEVATION = 12.00' STEP DOWN TRANSFORMER AT WAREHOUSE AND ELECTRICAL ROOM.

NOTE: PERMITTING FOR SIGNS WILL BE DONE SEPARATELY.

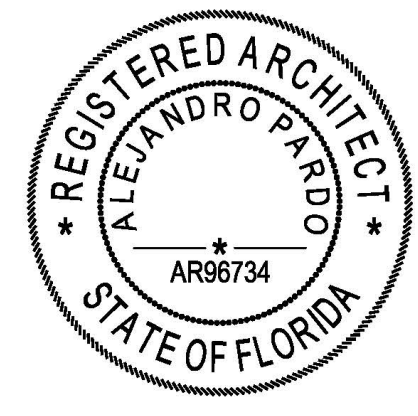
AREA CALCULATIONS: OFFICE (1st FL.): 6,756 SQ. FT. OFFICE (2nd FL.): 6,756 SQ. FT. WAREHOUSE: 55,492 SQ. FT. TOTAL: 71,130 SQ. FT.

PROPOSED BUILDINGS SITE STATISTICS:

Table with 3 columns: ZONING DESIGNATION, SITE AREA, OCCUPANCY, CONSTRUCTION TYPE, FIRE PROTECTION, LOT COVERAGE, FAR, BUILDING, INTERIOR CLEAR HEIGHT, OFFICE (1st FL.), OFFICE (2nd FL.), WAREHOUSE, TOTAL AREA BUILDING, BUILDING SETBACKS, REAR, SIDE (WEST), SIDE (EAST).

SCOPE OF WORK:

NEW 71,130 SQ. FT. 2 STORY OFFICE, SHOWROOM AND WAREHOUSE BUILDING. FOR FIRE PROTECTION SCOPE OF WORK REFER TO FIRE PROTECTION SHEETS. FOR MECHANICAL SCOPE OF WORK REFER TO MECHANICAL SHEETS. FOR ELECTRICAL SCOPE OF WORK REFER TO ELECTRICAL SHEETS. FOR PLUMBING SCOPE OF WORK REFER TO PLUMBING SHEETS. FOR STRUCTURAL SCOPE OF WORK REFER TO STRUCTURAL SHEETS. FOR CIVIL SCOPE OF WORK REFER TO CIVIL SHEETS.



November 21, 2023

**STATEMENT OF FORTUNA REAL ESTATE LLC
FOR THE BENEFIT OF
THE CITY OF DORAL, FLORIDA**

To whom it may concern:

This statement has been prepared in accordance with Chapter 75 of the City of Doral Land Development Code.

Doral's cultural diversity is evident in the blend of its residents. The city is a beautiful patchwork of cultures with a significant population of Hispanic residents alongside communities from various parts of Europe and Asia. This multicultural mix shapes Doral's unique identity, reflected in every aspect of the city, from cuisine and art to festivals and celebrations. The proposed artwork for our project, titled "Broken But Together," represents this essential mix of what makes Doral unique, and explores how we as humans are destined to live our individual paths, but by nature, our stories become intertwined within others. In addition to the modern façade and architecture of our project, the prominent public display of "Broken But Together" stands to transform and modernize this area of city, just off the corner of a major intersection and featuring on a main thoroughfare to help Doral shine. Pedestrians and drivers will be able to easily see and appreciate this powerful piece from the sidewalk or driving along NW 25th Street.

Accordingly, Emre Tuna, as Manager of Fortuna Real Estate LLC, hereby agrees that Fortuna Real Estate LLC, its successors and assigns shall defend, indemnify, and hold the City of Doral harmless against any liability, loss, damage, costs, or expenses (including reasonable attorneys' fees and court costs) arising from any claim, action or liability related to the artwork, and further covenants that the artwork shall be maintained in accordance with Section 75-114.

We look forward to contributing to Doral's growth and culture in a meaningful way.

Respectfully,



Emre Tuna, as Manager of
Fortuna Real Estate LLC