

2026 DOWNTOWN DORAL

PATTERN BOOK

Downtown Doral

Urban Regulations

Plans

This section includes the following Plans:

1. Regulating Plan
2. Urban Design Guidelines
3. Vehicular Access and Circulation Plan
4. Thoroughfare Standards

PERKINS
+ WILL

the center
RTM

RTM

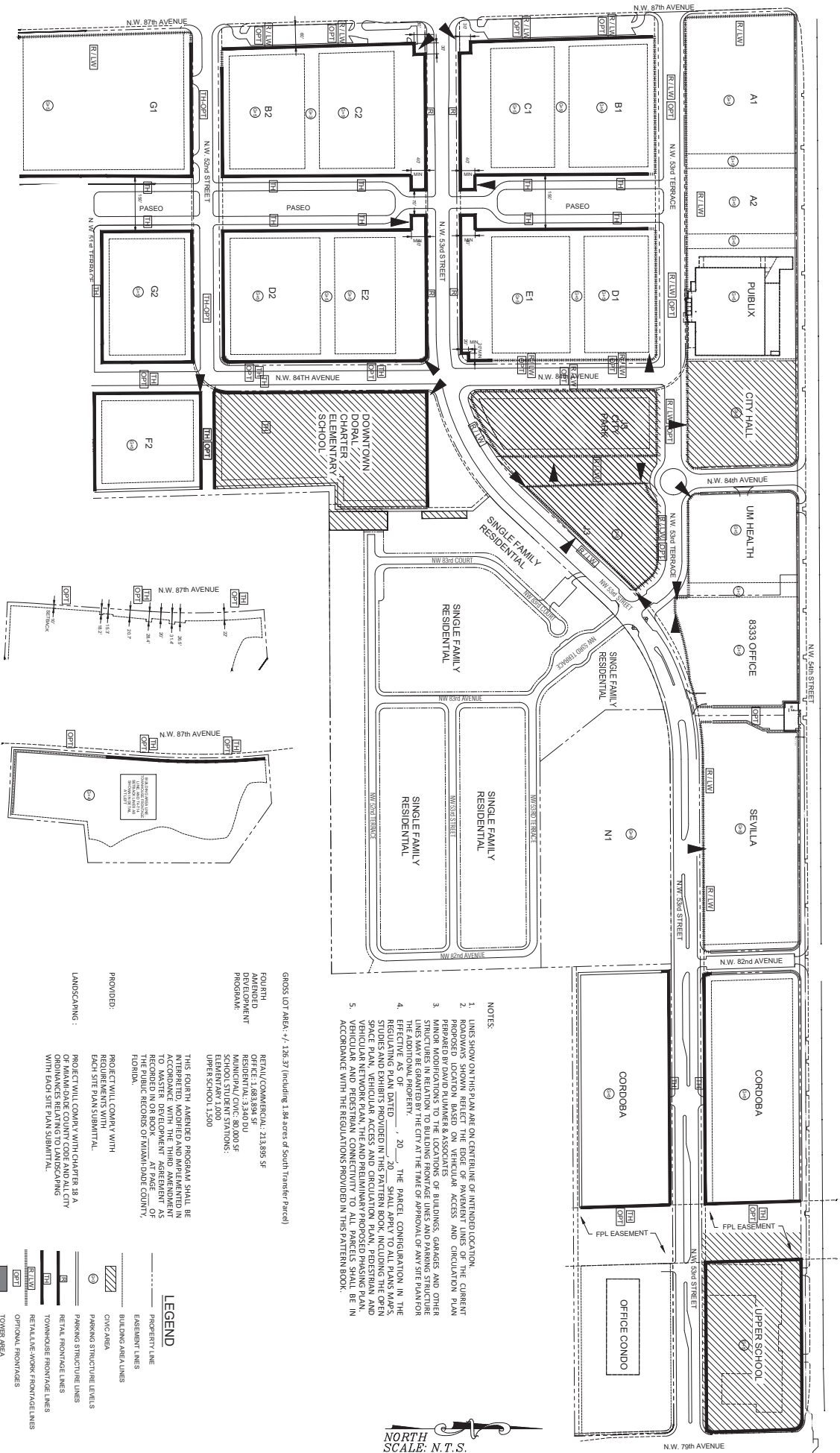
DOWNTOWN DORAL
REGULATING PLAN

WCE WHITMORE
CONSULTING ENGINEERS

11921 NW 23rd STREET
POMEROY, FL 33066
(305) 339-5865 • 18-36466

PROJ. NO.
2004-38
DESIGNER: JMA
SCALE: N.T.S.
DATE: 04/22/19

NEW VERSION - AMENDED NOVEMBER 2025



- NOTES:
1. LINES SHOW ON THIS PLAN ARE ON CENTERLINE OF INTENDED LOCATION.
 2. LOCATIONS SHOWN REFLECT THE EDGE OF PAVEMENT LINES OF THE CURRENT PAVED STREET. ACCESS AND CIRCULATION PLAN PREPARED BY DAVID HUMMER & ASSOCIATES
 3. MINOR MODIFICATIONS TO THE LOCATIONS OF BUILDINGS, GARAGES AND OTHER STRUCTURES IN RELATION TO BUILDING MOUNTING LINES AND PARKING STRUCTURE LOCATIONS IN THE CITY AT THE TIME OF APPROVAL OF ANY SITE PLAN IN THE ADDITIONAL PROPERTY.
 4. REGULATING PLAN DATED 11-20-2025 SHALL APPLY TO ALL PLANS, MAPS, SPACE PLAN, VEHICLE ACCESS AND CIRCULATION PLAN, PEDESTRIAN AND VEHICULAR NETWORK PLAN, THE AND PRELIMINARY PROPOSED PHASING PLAN.
 5. ACCORDANCE WITH THE REGULATIONS PROVIDED IN THIS PATTERN BOOK.

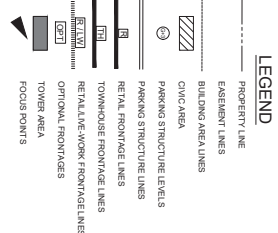
GROSS LOT AREA: +/- 136.37 (including 1.84 acres of South Transfer Parcel)

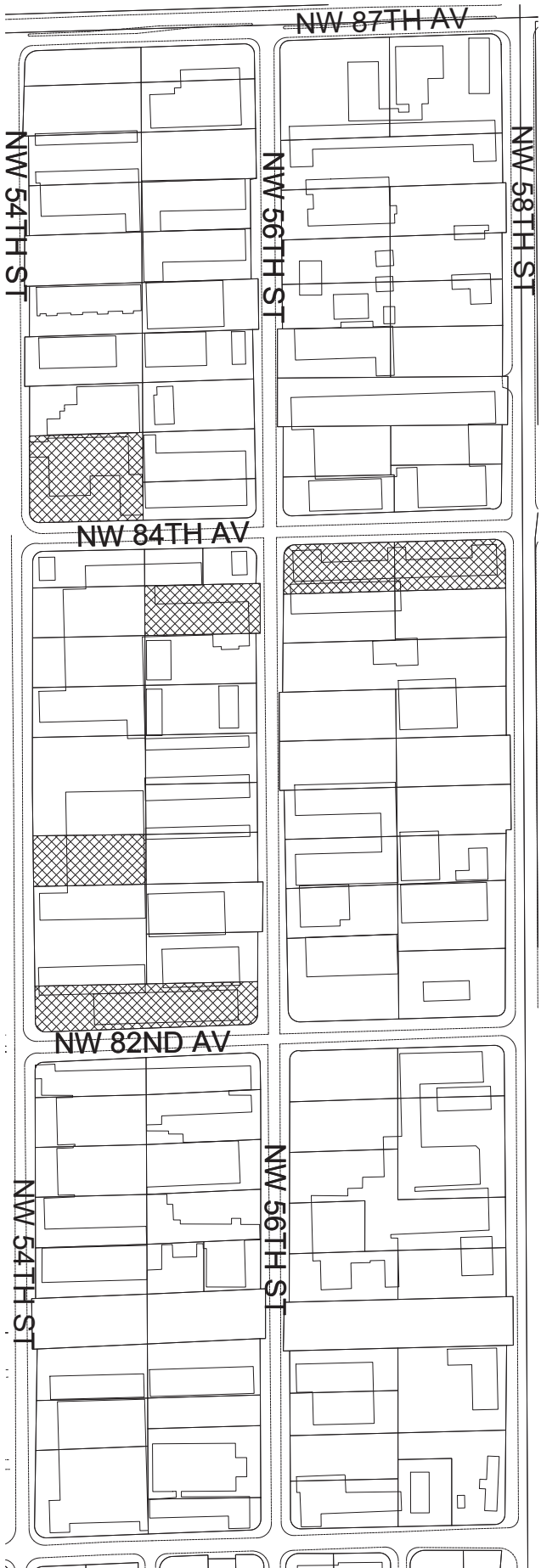
FOURTH AMENDED
RETAIL/COMMERCIAL: 213,895 SF
OFFICE: 1,683,894 SF
RESIDENTIAL: 3,340 DU
MUNICIPAL/CIVIC: 80,000 SF
DEVELOPMENT PROGRAM:
CIVIC SCHOOL: 1,000
UPPER SCHOOL: 1,500

THIS FOURTH AMENDED PROGRAM SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI-DADE COUNTY MASTER DEVELOPMENT AGREEMENT AS RECORDED IN OR BOOK AT PAGE OF THE CITY OF MIAMI-DADE COUNTY, FLORIDA.

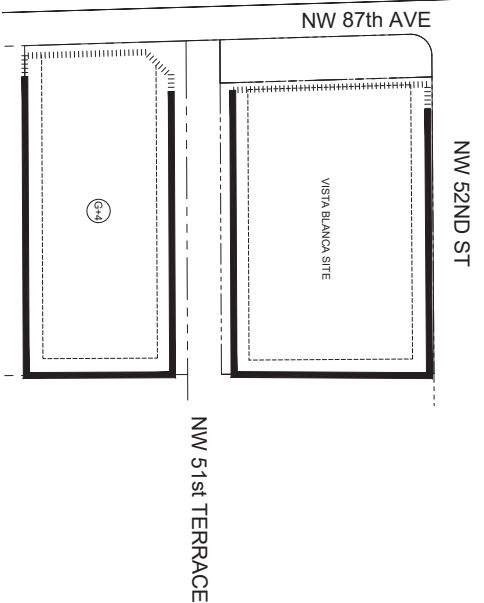
PROJECT WILL COMPLY WITH REQUIREMENTS WITH EACH SITE PLANS SUBMITTAL.

PROJECT WILL COMPLY WITH CHAPTER 18.A OF MIAMI-DADE COUNTY CODE AND ALL CITY ORDINANCES RELATING TO LANDSCAPING WITH EACH SITE PLAN SUBMITTAL.





NORTH
SCALE: N.T.S.



NEW VERSION - AMENDED NOVEMBER 2025

LEGEND

- PROPERTY LINE
- EASEMENT LINES
- BUILDING AREA LINES
- CIVIC AREA
- PARKING STRUCTURE LEVELS
- PARKING STRUCTURE LINES
- RETAIL FRONTAGE LINES
- TOWNHOUSE FRONTAGE LINES
- RETAIL/WORK FRONTAGE LINES
- OPTIONAL FRONTAGES
- TOWER AREA
- FOCUS POINTS
- PARTIALS SUBJECT TO ADAPTIVE REUSE AS ANY ADAPTIVE REUSE PROJECTS ARE DEVELOPED. RETAIL FRONTAGE LINES CENTERLINE SHALL APPLY

Urban Design Guidelines

Regulating Plan Elements

Property Lines demarcate perimeter of Downtown Doral District.

Easement Line describes effective width of existing public use land comprising public-rights-of-way and utility easements. Future rights-of-way dimensions may be altered to range from 50 to 95 feet wide.



Building Area Lines demarcate blocks held in private ownership and intended primarily for the construction of buildings. All Building Area Lines are setback minimum 20 feet from overall Downtown Doral Property Line.

Potential Civic Area sites are parcels recommended as preferred locations for potential public interest uses such as library, community center and meeting hall, but may also be developed for private use

Parking Structure Lines demarcate extent of Parking Structures as shown in the Regulating Plan. Parking Structures may cover all buildable area of blocks as governed by Parking Structure Lines. Parking Structures are to be concealed by liner buildings at Frontage Lines a minimum 20 feet deep, except where marked optional (**OPT**).

Parking Structure Levels are measured as ground plus number of decks above. Additionally, a full or partial roof is permitted as an amenity deck. Exposed levels of parking structures shall have shade structures covering the parking stalls. Parking Structure vehicular access at grade may interrupt a Frontage Line once for each tower above it and shall be a minimum 40 feet distance from the block corner. Parking Structure vehicular access at Frontage Lines shall be a maximum of 42 feet wide and shall be setback 20 feet from the Frontage Line. For each Tower above, Parking Structures shall provide at least one pedestrian entrance directly onto the sidewalk in addition to any internal connections to the building. **Parking Structure height for standalone structures shall not exceed the adjacent Tower height.**

Parking Quantities shall be according to the City of Doral regulations. Shared parking is encouraged. **Off street parking required for all retail/restaurant uses may be reduced by up to twenty percent (20%) within mixed-use buildings or an assemblage of buildings demonstrating a mix of uses on a site plan, which include retail/restaurant use along with either office or residential (non-retail/restaurant) uses or both, in accordance with the Urban Land Institute shared parking methodology.** The required parking may be provided on the street along the building frontage and off-street within a one- quarter mile (1320 feet) of the building served.

Alleys are thoroughfares interior to the blocks and open to the sky. Alley access at Frontage Lines shall be a minimum of 15 feet and a maximum of 25 feet wide and may occur once per block face.

Frontages, Setbacks and Heights

Frontage Lines are the base building lines which limit the horizontal extent of building for the first 4 stories. Buildings along a Frontage Line shall have Streetwalls placed on a minimum of 80% of the length of the Frontage Line. At the mixed-use Blocks B and C (B1, B2, C1 & C2) adjacent to NW 87th



Avenue with mid-block servicing and parking complexities, a 60% streetwall along the Frontage Line shall be permissible to accommodate front entry drives along the western edge of the Paseo Doral.

Civic Buildings may be setback from the Frontage Line. Building façades along a Frontage Line shall have frequent doors and windows; pedestrian entrances shall occur at a maximum spacing of 75 feet. Vehicular access shall occur at a minimum spacing of 100 feet.

Streetwalls are building or garden walls which coincide with Frontage Lines.

Townhouse Frontage Lines demarcate building streetwalls which are entered with a stoop or ramp. Townhouses shall have a first-floor elevation of between 1 foot-6 inches and 2 feet-6 inches above adjoining sidewalk elevation. Townhouses shall be a minimum of 3 stories and a maximum of 4 stories in height. At (OPT) locations a minimum of 2 stories is also allowed. Architectural elements such as chimneys, elevator towers, enclosed stairwells, roof terraces, and trellises up to an additional height limit of 12 feet may be allowed. Townhouses may be attached liner buildings or detached buildings. Townhouses shall be residential use only, with a home office maximum area of 20% per unit. Any home-based business shall comply with City Ordinance No. 2006-14 – “Home Based Business Office.” **The western edge of the Paseo Doral at Blocks B and C (B1, B2, C1 & C2) shall be considered a TH (OPT) location and streetwalls may be demarcated with 2-story non-residential structures.**



Live-Work Frontage Lines demarcate building streetwalls which are entered at grade. Live- Works shall have a first-floor elevation at adjoining sidewalk elevation. Live-Works shall be a minimum of 3 stories and a maximum of 4 stories in height. Live-Works may be attached liner buildings or detached buildings. Live-work may include office, retail and residential use. Live-work first floor residential use may build a raised floor at a minimum distance of 3 feet inside the façade. Upper floor use may be retail, residential, or office. Retail/Live-Work frontage may become Townhouse frontage provided that the entire length of the frontage is the same use.



Retail Frontage Lines demarcate building streetwall which are entered at grade. Retail buildings shall be a minimum of 4 stories in height. Ground floor use shall be retail. Upper floor use may be retail, residential, or office. Lobbies for upper floors may occur along retail frontage. Retail buildings may be attached or detached buildings with a service alley at the rear.

Optional Uses demarcate frontages that may exclude liner building.

Building Setback Lines indicate the setback from the Frontage Line and demarcate the maximum horizontal extent of buildings above four stories, or the **Tower Area**.



Tower Height and Tower Setbacks taken from Frontage Line demarcate the maximum area of horizontal and vertical extent in which building height may be between 4 and **the maximum height allowed by the Federal Aviation Administration and the Miami-Dade County Aviation Department**. Each tower may extend into the setback up to the Frontage Line for a maximum 33% of Block length. Towers shall be separated by a minimum of 80 feet above the fourth floor. Towers shall have only four sides above the tenth story. Framing three important public views, three pairs of **towers shall be encouraged to have** a symmetrical massing: at the west end of NW 53rd St. as viewed from NW 87th Ave.; blocks A1 and A3 as viewed from Park Avenue; blocks G2 and F3 as viewed from NW 54th Ave. Under no circumstances can the height of any structure exceed the underlying land use at the time of site plan approval.

Garages Height shall be compatible with adjacent structures. Stand-alone arages shall be required to incorporate active ground floor uses in order to enhance street level activity, improve the aesthetic character of the garage and contribute to a vibrant and walkable pedestrian environment.

"Stand-alone Garage" shall be defined as a garage not attached to another primary use structure such as retail, commercial or residential.

Focus Points are locations where the buildings are viewed from a long axis of approach. Focus points require architectural response appropriate to their relative importance in the plan.



Building Use: The ground story along Frontage Lines shall be reserved for retail, live-work, or townhouse use as shown in the Regulating Plan. The upper story of buildings along Frontage Lines or in Towers shall be residential, office, or lodging. At Frontage Lines marked Optional either use may be selected and may exclude the liner building. On Frontage Lines, allowing both retail and live-work they may be mixed. Where Frontage Lines change at the Block corner, the more intense use shall extend a minimum of 25 feet along the adjacent Frontage.

Building Heights are measured in number of stories. The maximums are marked along each frontage or setback line or defined herein. Each story shall be not more than 14 feet from floor to floor except the ground floor which shall be not less than 12 feet from floor to ceiling. Mezzanines may extend a maximum of 15% of the floor area. The first story should always be taller than the upper stories. This visual effect can be achieved either with a higher ceiling or in Townhouse Frontages by raising the ground level with a stoop.

Architecture

Building Articulation is a change in the massing of the building in plan and/or elevation. Buildings shall be articulated only at the corner of the urban block and/or at the building entrance. A maximum of 20% of the length of a streetwall may be setback from Frontage Line.



Expression Line is a required horizontal line running the full width of a façade along a Frontage Line, expressed by a material change, a reveal, a molding, a cornice, an overhang, or a balcony, that shall occur atop each first story.

Fenestration: the ratio of fenestration (glass surface) to wall of the building façade at the ground level of Retail Frontages shall be 70% minimum. The ratio of fenestration to wall of the building façade for all other frontages and at all floor levels shall be a minimum of 30%. Reflective glass shall not be allowed on retail or residential buildings.



Retail Facades: Shopfront windows shall exude light. Shopfront paint shall be high gloss. Mullions shall be used sparingly on retail windows where a high degree of visibility is desired. Retail entrances shall be setback from Frontage Line a minimum of 3 feet.

Residential Facades: Muntins and mullions serve to diffuse problem views and may be used on residential windows requiring a degree of screening.

Awnings shall be a light metal armature stretching a non-translucent membrane. Bottom edges of awnings shall be no lower than 8 feet and no higher than 10 feet above the sidewalk at front edge and shall not be back lit.

Retail Signage: Each storefront shall be an integrated design to include the storefront, the entrance, and the signage. Uniform signage regulations shall be provided to ensure aesthetic continuity.





Façade Color shall be in the 0-40% saturation range, regardless of the material. 10% of the façade may be of a more saturated intensity.

Encroachments: Awnings shall be permitted to encroach upon the sidewalk up to 15 feet beyond Frontage Line. Open balconies or cantilevered entry roofs are permitted to

encroach up to 3 feet beyond the building façade for up to 33% of the length of the Frontage Line or each

individual building. Stoops and ramps may encroach upon the sidewalk up to 6 feet beyond the Frontage Line but shall allow a minimum clear passage width of 10 feet for the sidewalk. Townhouse bay windows may extend 2 feet beyond Frontage Line for a length of up to 40% of each unit frontage. Entrance canopies may extend 25 feet beyond Frontage Lines for tower entries.

Concealed Elements: All utility and infrastructure elements, including transformers and telephone boxes, and loading docks, dumpsters, condensers, meters, and backflow preventers shall be located behind the Frontage Lines and screened from sidewalks by liner buildings, walls, gates or landscape where possible. Loading and service entries to building shall be allowed on alleys and within parking structures and lots.

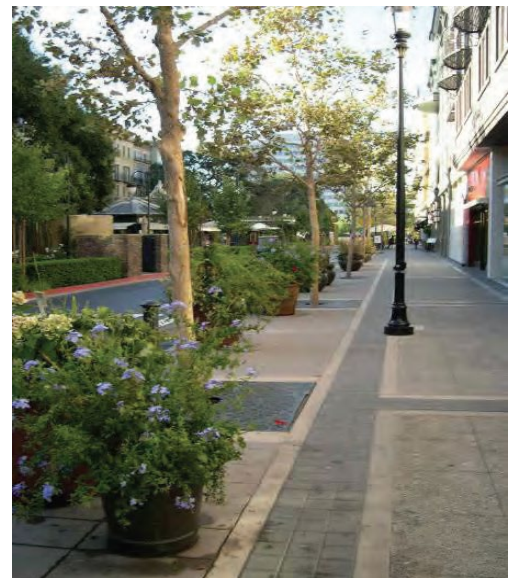
Visible Soffits and Ceilings: The soffits of balconies and roof overhangs and the ceilings of arcades and balconies may be elaborated. The underside of cantilevers and balcony ceilings is often much more visible from the street than their façade.



Downspouts may be a contributing element to the façade and may be used to separate units at Townhouse and Live-Work Frontages.

Streetscape

Materials: The streetscape details shall be simple; the vehicular pavement asphalt, except in areas of specialty pavers (for example, crosswalks at Main Street and Paseo Doral); the sidewalks concrete, pigmented just enough to kill the grey, and finished with a trowel, not a broom. A verge of minimum 3 (three) feet width extending in from the curb shall be the location for trees, parking meters, lamp and signposts, hydrants, etc. The verge may be landscaped or pavers on sand, to allow easier access to buried utilities and seepage for roots.



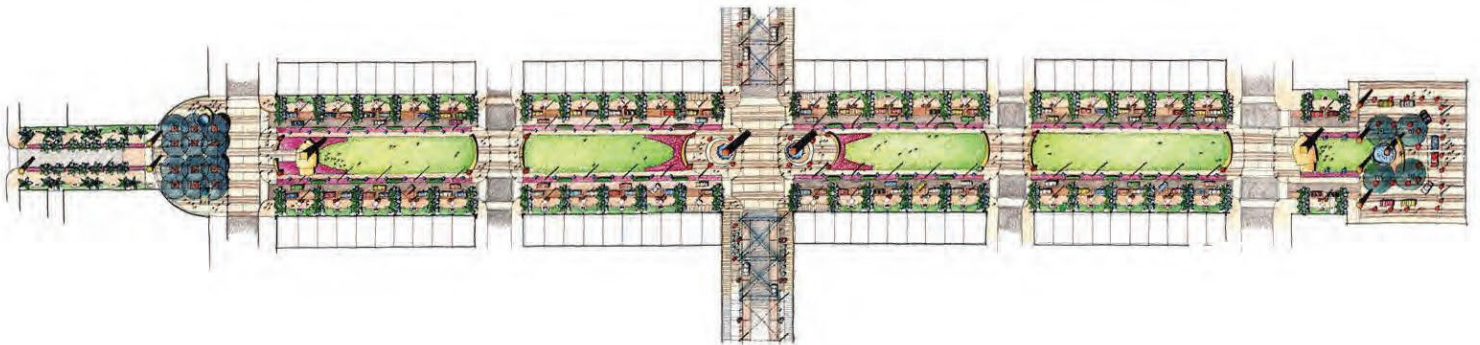
Street Trees should have tree grates flush with sidewalk paving or equivalent protection. Trees should be regularly spaced as shown on the Illustrative Thoroughfare Standards. Typically, trees shall align with the common walls of shops and/or residences. Tree wells shall be a minimum 4 feet by 4 feet.

Amended:11/18/10

Streetlights shall not exceed 15 feet in height and at specific locations to be located on both sides of each street at intervals of no more than 75 feet or staggered at 75 feet intervals (see Thoroughfare Standards for locations). The lamps shall be selected to produce white light, such as metal halide.



Other: Uniform street furnishings shall be provided throughout the public spaces to ensure aesthetic continuity.



Single Family Area Regulations

Building Placement on single family lots shall provide for a building separation of 10'.

Setbacks shall be provided on each lot as follows:

- Front (to garage) = 19' minimum
- Front (to other portions of a building) = 11' minimum
- Rear = 5'
- Side/Interior = 5'
- Side/Corner = 10'
- Swimming Pool = 2'

Architectural Elements such as wingwalls, eaves, and building projections may encroach up to 3' into the required setbacks, including in the space between buildings as permitted by NFPA regulations.

Building Height is limited to 35' or three stories, though architectural elements such as chimneys, spires, parapets may extend up to 40'.



Balconies/Cantilever features are encouraged and may project into setbacks up to 3'.

Main Entrances to individual units should be visible from the street or an open space with pedestrian accessibility. They should be well-lit and varied in architectural character. Front doors and windows to major rooms should address the said street or open space. **Walkways** should lead to the front entrance of each building. The front door should be a prominent and welcoming feature on the front façade.

The **53rd Street Frontage** line may be front or rear of lots, however no vehicular access from lots directly onto 53rd Street shall be permitted. Where the rear of lots abut 53rd Street, a minimum 15' landscape buffer with a 6' wall shall be provided. Pedestrian access gates may be provided from the individual lots.

Building Massing may allow for structures to be built out to the setback lines. However, different planes on the building, or changes in materials are encouraged. Buildings are encouraged to have varying fenestration expressions as well as varied treatments or surfaces on the exterior to articulate the building massing. At the base of the buildings, building massing should be articulated into distinct planes that are expressed as smaller components or as individual units. A 'punched' window or a floor to ceiling glass expression is permitted. Materials may include but are not limited to glass, aluminum or metal, painted stucco, architectural pre-cast concrete, wood, or natural stone, selection of which shall take into account durability and climate sensitivity. Building facades should be articulated to provide opportunities for landscaping.

Secondary Structures such as porches or covered entrances may encroach into the setback line in the front or rear of a building.

Roofs, if sloped, may be clad in clay tile, painted metal standing seam roofing, concrete tile. Colors may vary depending on the material. Principal roofs may be flat or sloped and may be accented by decorative roof features. Flat roofs should be surrounded by a continuous horizontal parapet wall, which may have breaks (with metal railing) where adjacent to rooftop deck areas.

Roof penetrations, including vent stacks, shall be placed back from the principal frontage of the roofs and finished to match the color of the roof.

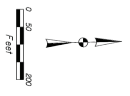
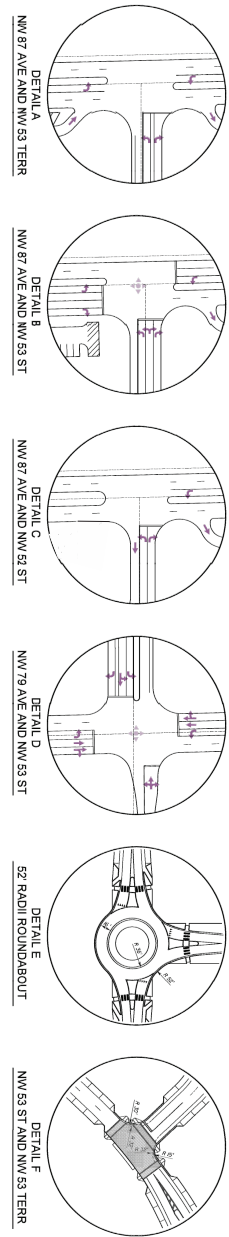
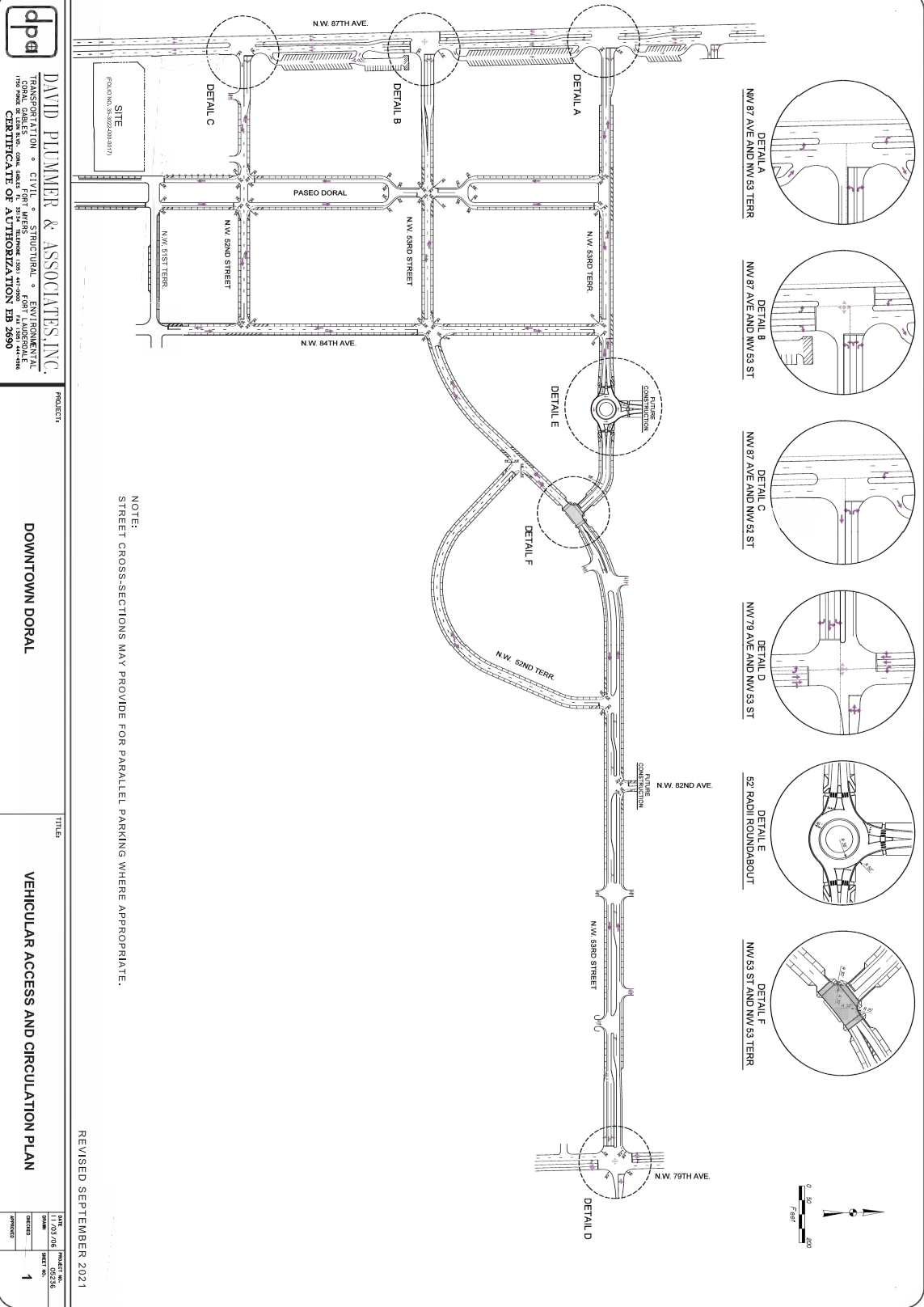
Skylights if provided, should be flat and mounted away from the principal frontage of the roof.

Roof Decks are encouraged to include decorative elements such as trellises, water features, or landscape elements.

GROCERY FLOOR AREA

Grocery Store Floor Area: For grocery stores in excess of 40,000 square feet, the retail space calculation shall include the floor area of the building measured from the interior of the exterior walls, excluding:

- 1) Balconies which extend from the exterior wall and extensions;
- 2) Off-street parking areas;
- 3) Lobbies;
- 4) Stairwells, mechanical rooms, waste rooms and elevator shafts;
- 5) Open plazas and outdoor café seating;
- 6) Interior corridors and the front office within storage areas;
- 7) Generators, freezers, air conditioners and chillers; and
- 8) Loading docks and storage areas.



NOTE:
 STREET CROSS-SECTIONS MAY PROVIDE FOR PARALLEL PARKING WHERE APPROPRIATE.

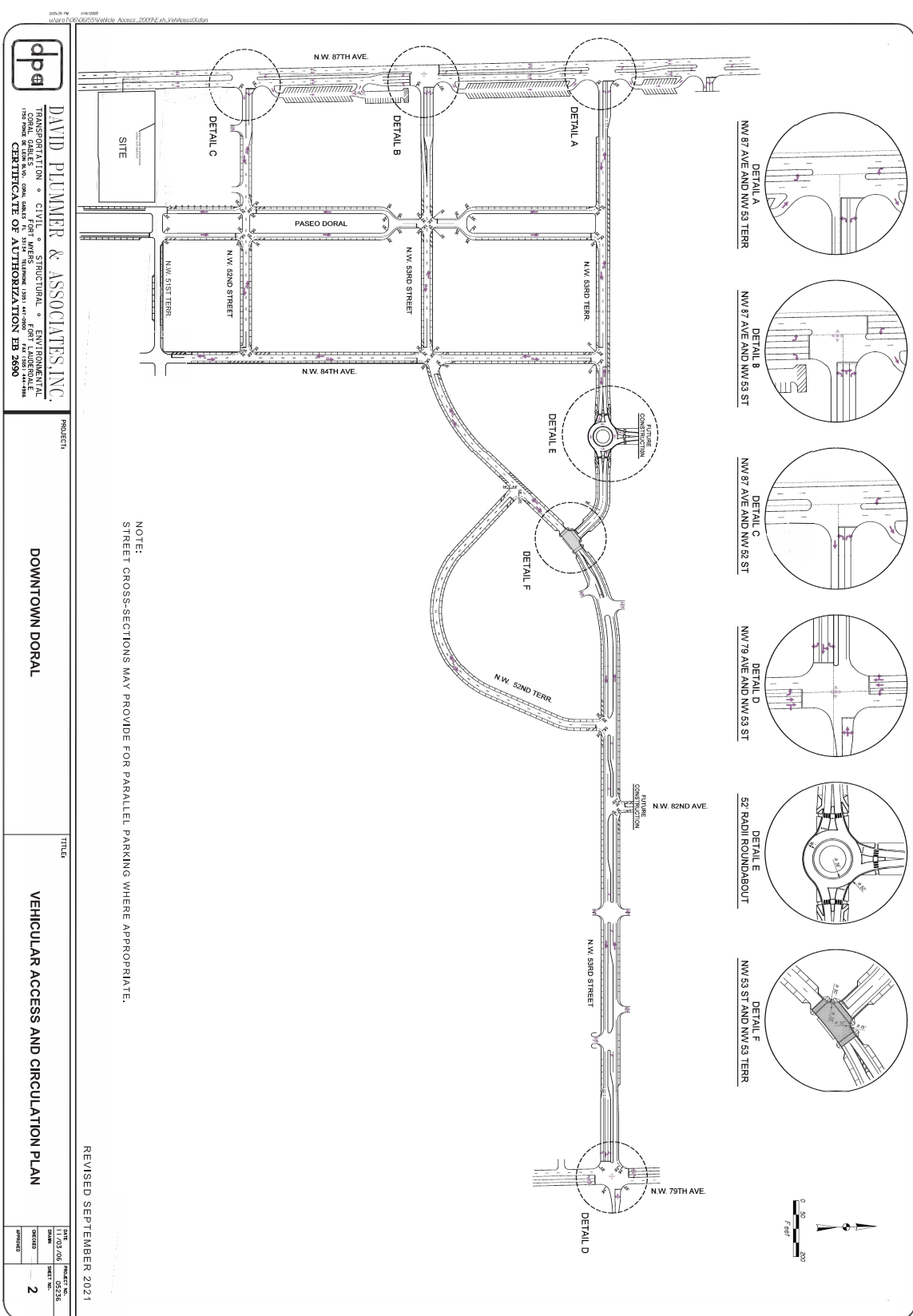
DAVID PLUMMER & ASSOCIATES, INC.
 TRANSPORTATION • CIVIL • STRUCTURAL • ENVIRONMENTAL
 1500 N. W. 87th Ave., Suite 100, Fort Lauderdale, FL 33309
 CERTIFICATE OF AUTHORIZATION EB 2690

PROJECT: **DOWNTOWN DORAL**

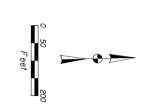
TITLE: **VEHICULAR ACCESS AND CIRCULATION PLAN**

DATE: 07/16/2020 PROJECT NO: 2020-036
 DRAWN BY: JRM
 CHECKED BY: JRM
 APPROVED BY: JRM

REVISED SEPTEMBER 2021



- DETAIL A
NW 87 AVE AND NW 53 TERR
- DETAIL B
NW 87 AVE AND NW 53 ST
- DETAIL C
NW 87 AVE AND NW 52 ST
- DETAIL D
NW 79 AVE AND NW 53 ST
- DETAIL E
52 RADI ROUNDOABOUT
- DETAIL F
NW 53 ST AND NW 53 TERR

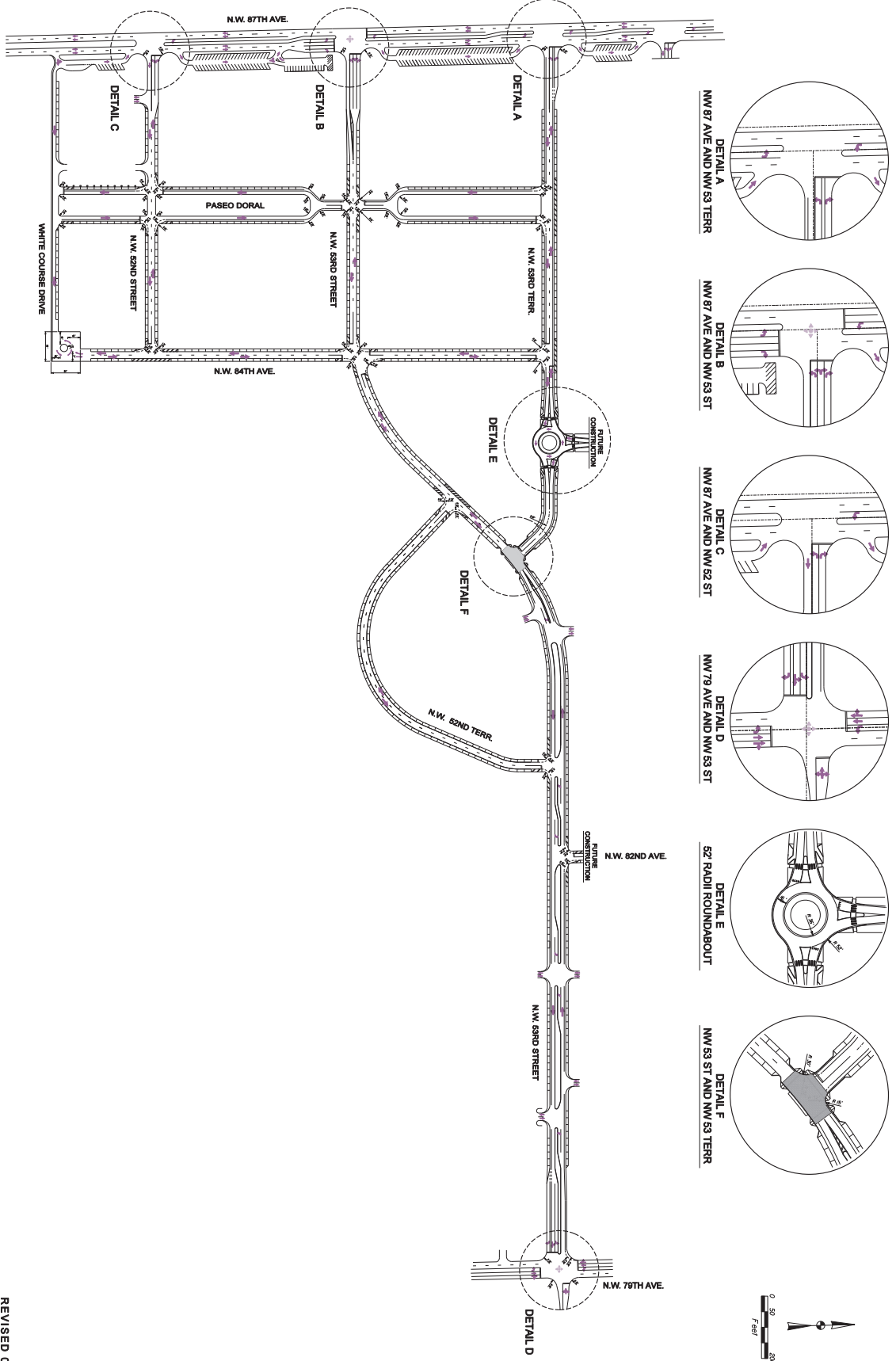


PROJECT:

TITLE:	DATE:

DATE	PROJECT NO.
11/03/06	05236

REVISÉD 01/14/09





DAVID PLUMMER & ASSOCIATES, INC.
TRANSPORTATION • CIVIL • STRUCTURAL • ENVIRONMENTAL
CORR. GABLES FORT WYENS FORT LAUDERDALE
1750 POINCE DE L'ERON BLVD., CORR. GABLES FL 33134 TELEPHONE (305) 441-0900 FAX (305) 444-9886
CREDIT STATE OF FLORIDA REGISTRATION NO. 3600

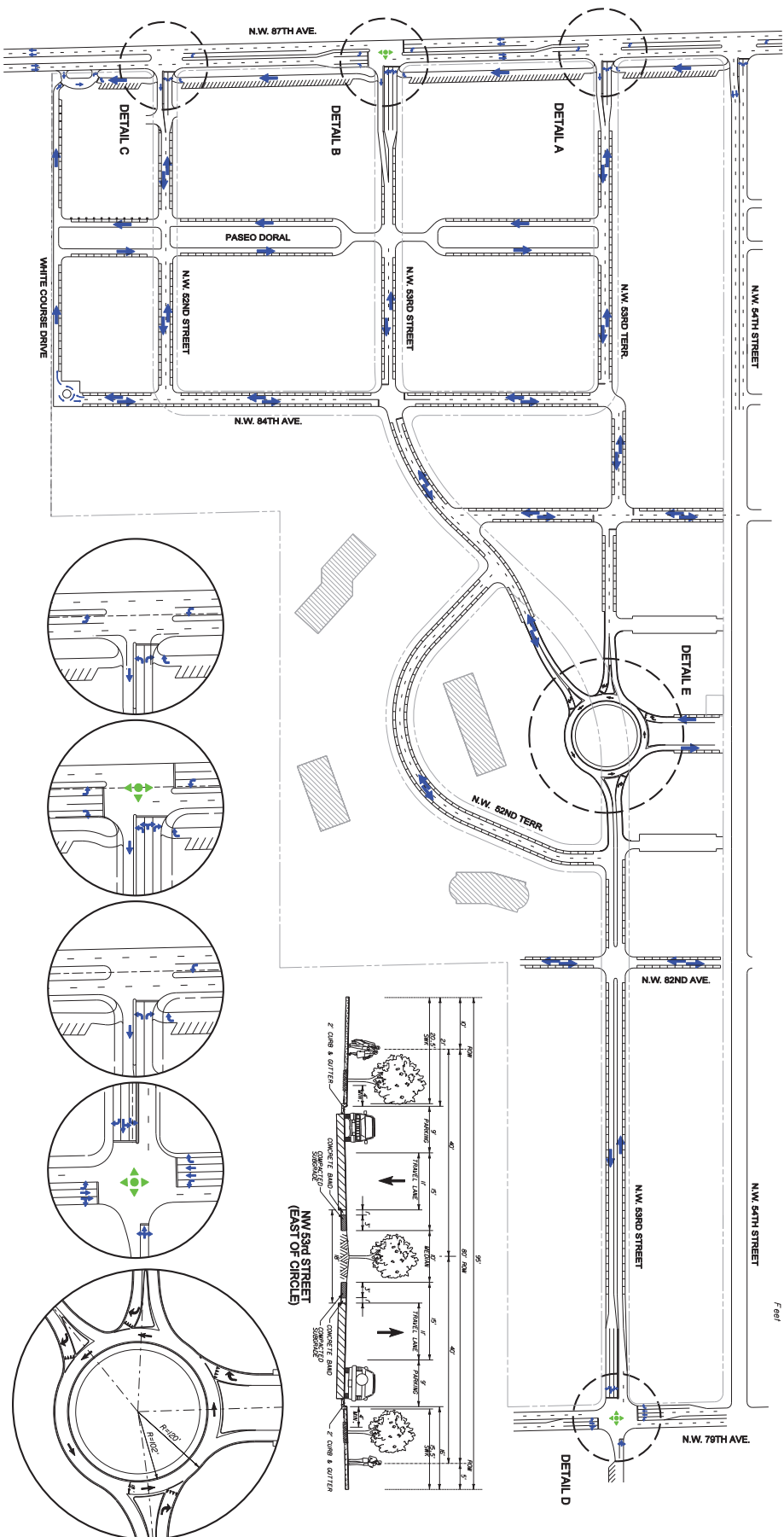
PROJECT:

DOWNTOWN DORAL

TITLE:	
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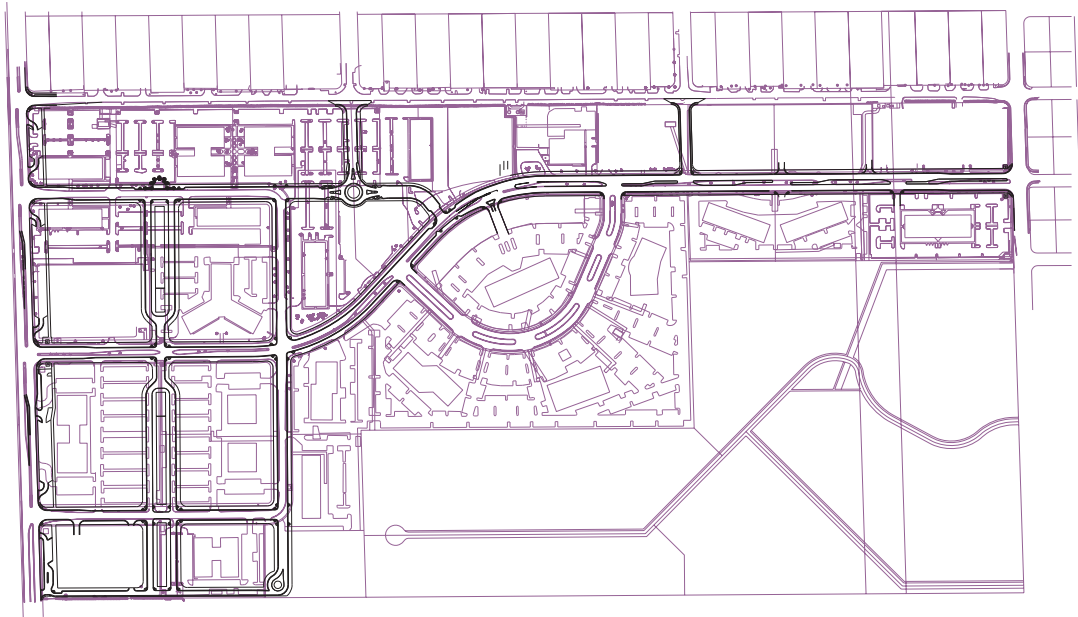
VEHICULAR ACCESS AND CIRCULATION PLAN

DATE	PROJECT NO.
06/19/06	05236
DRAWN	SHEET NO.
CHECKED	
APPROVED	1



DOWNTOWN DORAL THOROUGHFARE STANDARDS

DORAL, FLORIDA



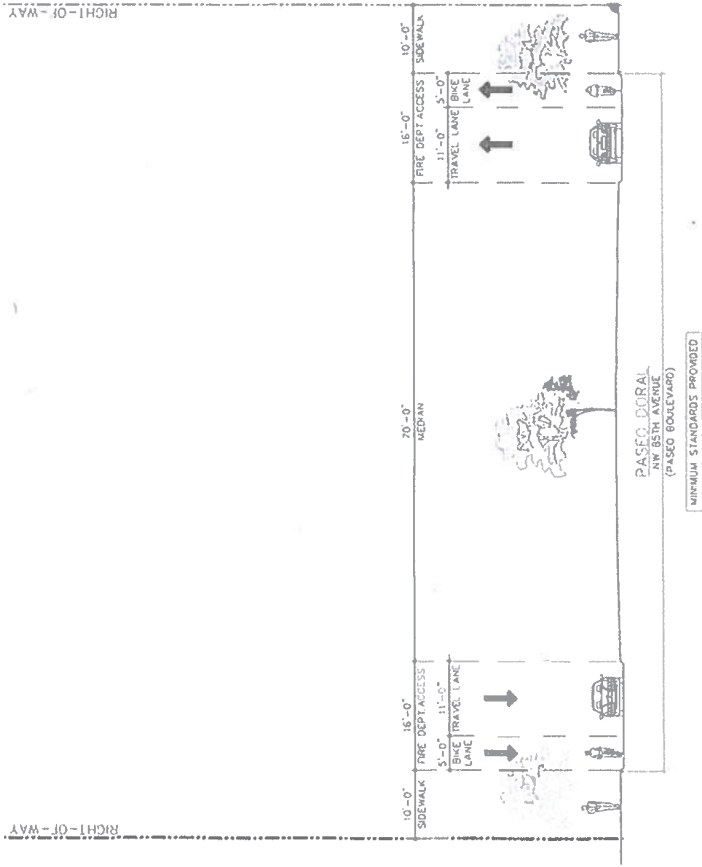
Prepared for:
CM Doral Development Company, LLC

Prepared by:

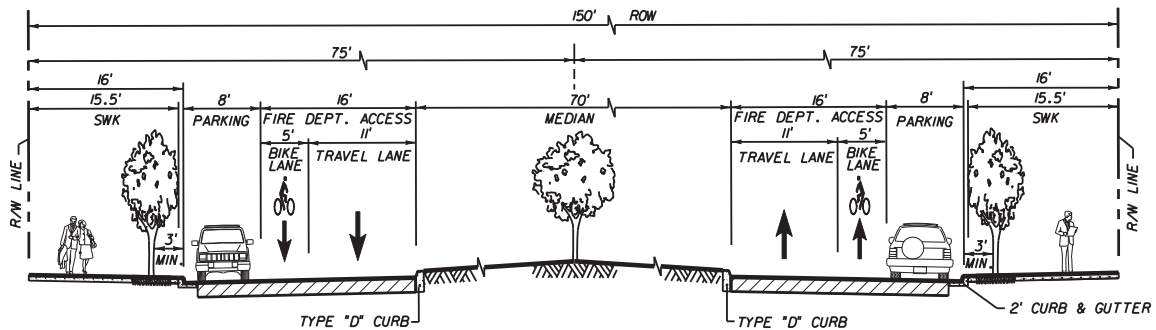


David Plummer & Associates, Inc
1750 Ponce de Leon Blvd.
Coral Gables, Florida 33134

November 2010



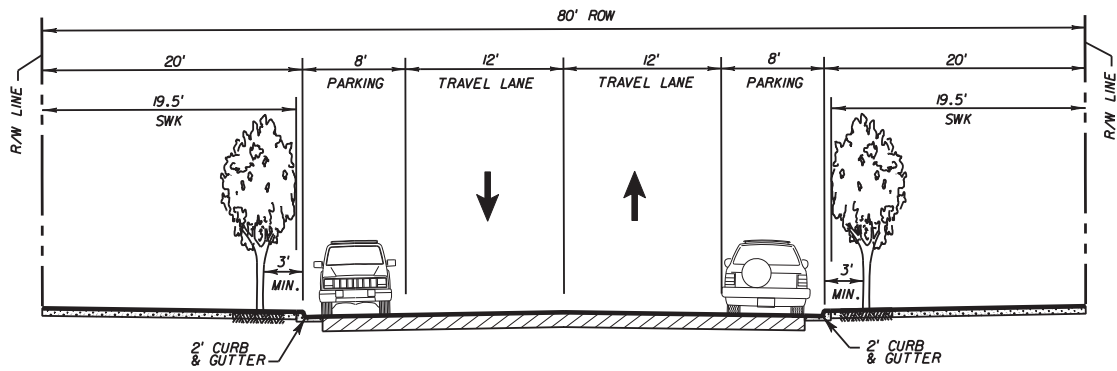
•PROVIDED FOR REFERENCE ONLY*
only applicable between 52nd Street and 53rd Street



PASEO DORAL

TYPE	BOULEVARD
DESIGN SPEED	30 MPH
CURB TYPE	RAISED
PLANTER WELLS	4'X4' (BOTH SIDES)
PLANTER SPACING	25' o.c.
STREET LIGHTS	75' SPACING (BOTH SIDES)

Amended 11/01/10

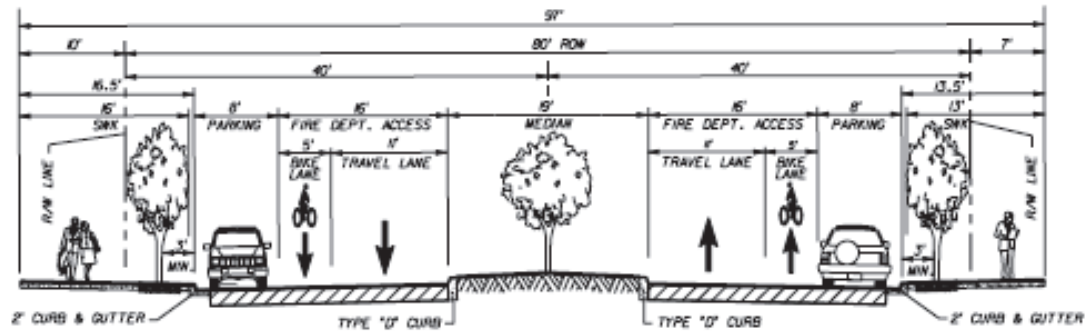


NW 53 STREET (WEST OF NW 53 TERRACE)

(N.T.S.)

TYPE	COMMERCIAL
DESIGN SPEED	30 MPH
CURB TYPE	RAISED
PLANTER WELLS	4'X4' (BOTH SIDES)
PLANTER SPACING	25' o.c.
STREET LIGHTS	75' SPACING (STAGGERED)

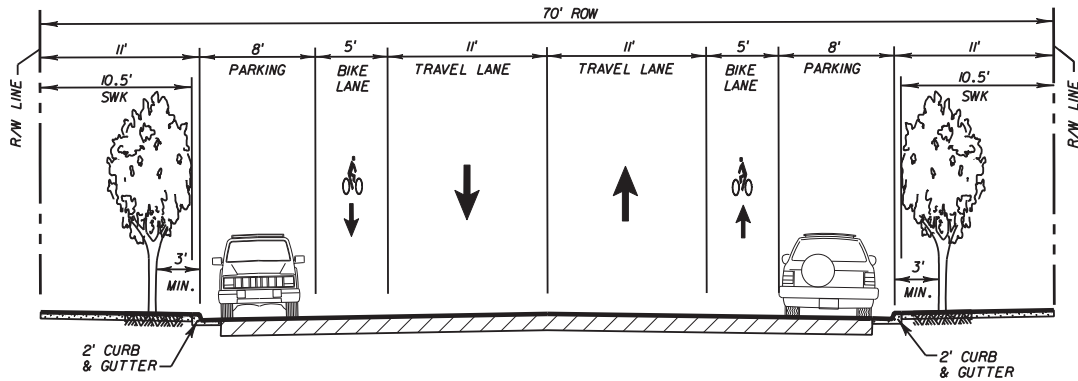
Amended 11/01/10



NW 53 STREET (EAST OF NW 53 TERRACE)
(LOOKING EAST) (N.T.S.)

TYPE	BOULEVARD
DESIGN SPEED	30 MPH
CURB TYPE	RAISED
PLANTER WELLS	4'X4' (BOTH SIDES)
PLANTER SPACING	25' o.c.
STREET LIGHTS	75' SPACING (BOTH SIDES)
EASEMENTS	REFER TO INFRASTRUCTURE AGREEMENT

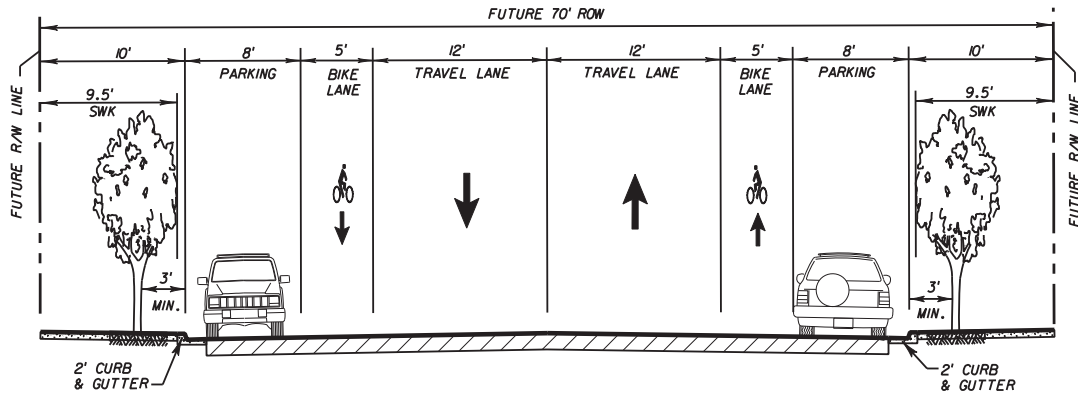
Amended 03/08/11



NW 53 TERRACE
 (FROM NW 87 AVENUE
 TO ROUNDABOUT AT NW 84 AVENUE)
 (N.T.S.)

TYPE	RESIDENTIAL / COMMERCIAL
DESIGN SPEED	30 MPH
CURB TYPE	RAISED
PLANTER WELLS	4'X4' (BOTH SIDES)
PLANTER SPACING	25' o.c.
STREET LIGHTS	75' SPACING (ONE SIDE)

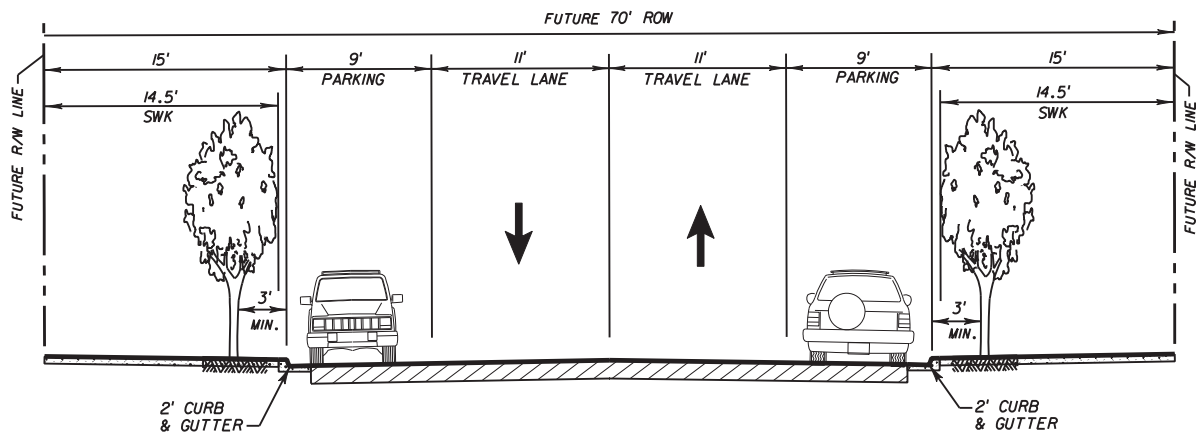
Amended 11/01/10



NW 53 TERRACE
 (FROM ROUNDABOUT AT NW 84 AVENUE
 TO NW 53 STREET)
 (N.T.S.)

TYPE	RESIDENTIAL / COMMERCIAL
DESIGN SPEED	30 MPH
CURB TYPE	RAISED
PLANTER WELLS	4'X4' (BOTH SIDES)
PLANTER SPACING	25' o.c.
STREET LIGHTS	75' SPACING (ONE SIDE)

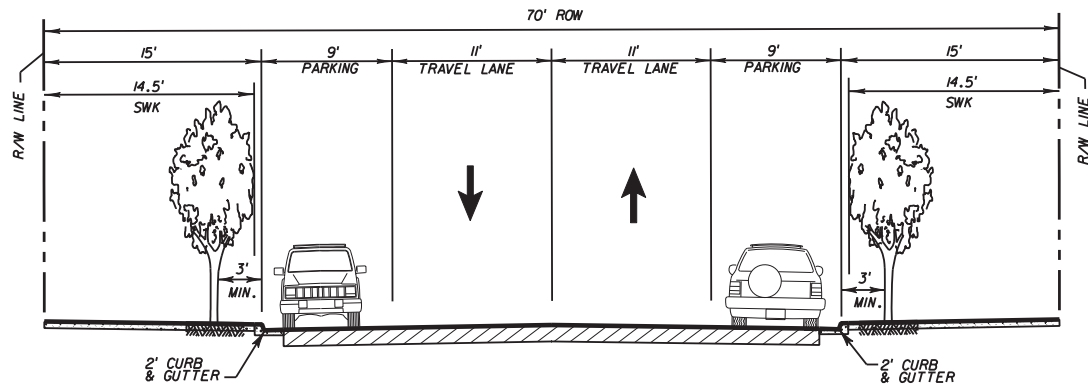
Amended 11/01/10



NW 84 AVENUE
 (LOOKING NORTH) (N.T.S.)
 (NORTH OF NW 53 TERRACE)
 (ADJACENT TO CITY HALL)

TYPE	RESIDENTIAL / COMMERCIAL
DESIGN SPEED	30 MPH
CURB TYPE	RAISED
PLANTER WELLS	4'X4' (BOTH SIDES)
PLANTER SPACING	25' o.c.
STREET LIGHTS	75' SPACING (ONE SIDE)

Amended 11/01/10



NW 52 STREET
(LOOKING EAST) (N.T.S.)

&

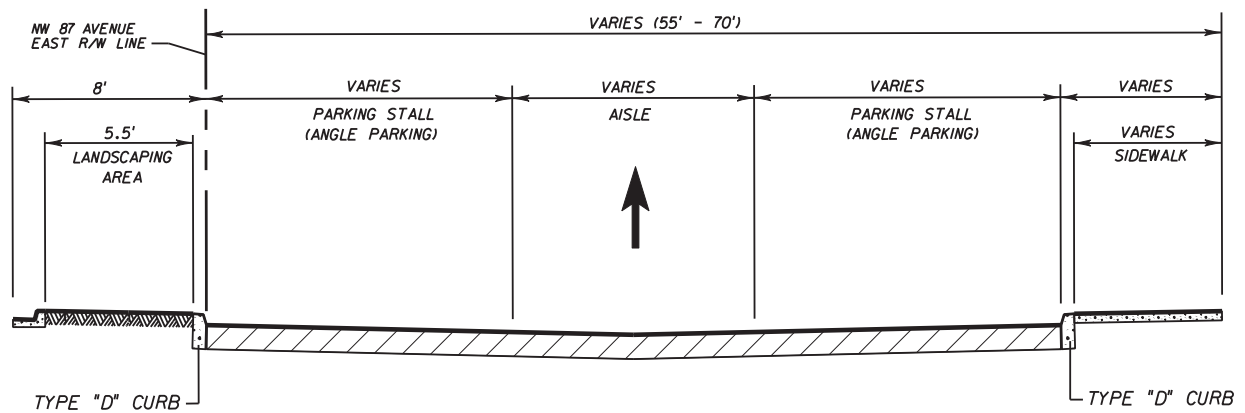
NW 84 AVENUE
(LOOKING NORTH) (N.T.S.)
(FROM WHITE COURSE DRIVE
TO NW 53 TERRACE)

TYPE	RESIDENTIAL / COMMERCIAL
DESIGN SPEED	30 MPH
CURB TYPE	RAISED
PLANTER WELLS	4'X4' (BOTH SIDES)
PLANTER SPACING	25' o.c.
STREET LIGHTS	75' SPACING (ONE SIDE)

Amended 11/01/10



Amended 11/01/10

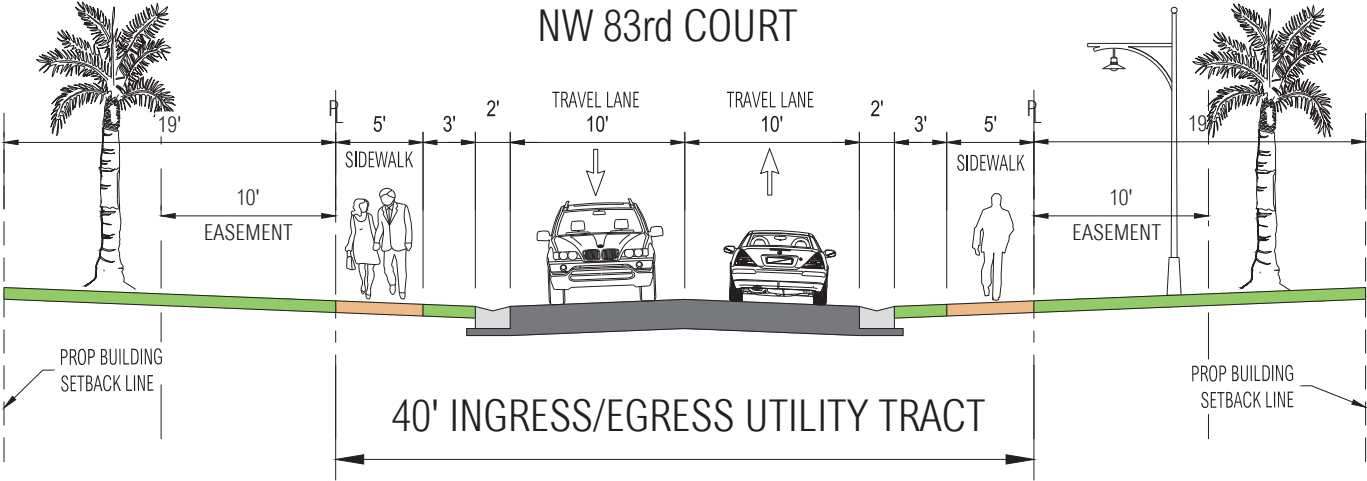


NW 87 AVENUE FRONTAGE
 (FROM NW 52 STREET TO NW 54 STREET)
 (N.T.S.)

TYPE	DRIVE
DESIGN SPEED	15 MPH
CURB TYPE	RAISED
PLANTER WELLS	NONE
PLANTER SPACING	N/A
STREET LIGHTS	75' SPACING (ONE SIDE)

Amended 11/01/10

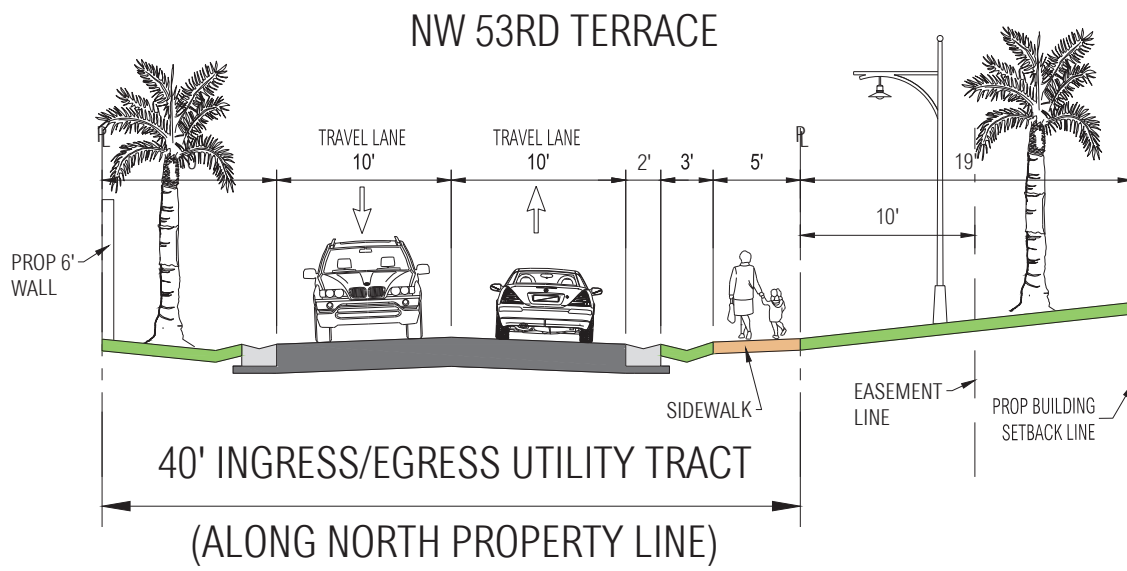
NW 52nd LANE
NW 52nd TERRACE
NW 83rd COURT



TYPE	RESIDENTIAL
DESIGN SPEED	30 MPH
CURB TYPE	VALLEY GUTTER
PLANTER WELLS	N/A
PLANTER SPACING	N/A
STREET LIGHT	80' SPACING (ONE SIDE)

40' INGRESS/EGRESS UTILITY TRACT

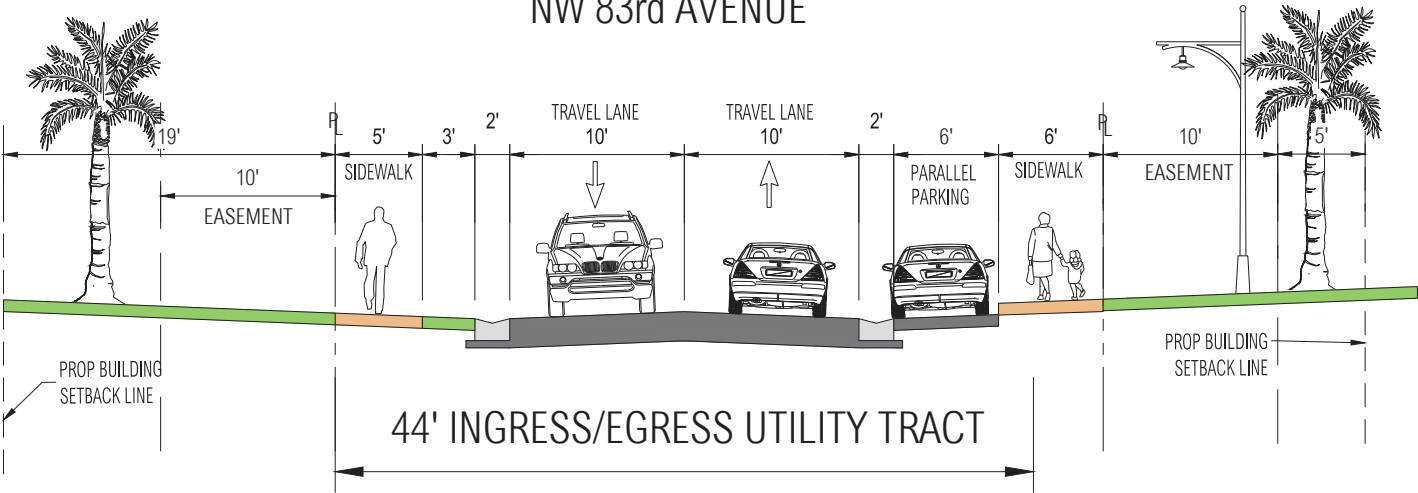
Amended 10/24/25



TYPE	RESIDENTIAL
DESIGN SPEED	30 MPH
CURB TYPE	VALLEY GUTTER
PLANTER WELLS	N/A
PLANTER SPACING	N/A
STREET LIGHT	80' SPACING (ONE SIDE)

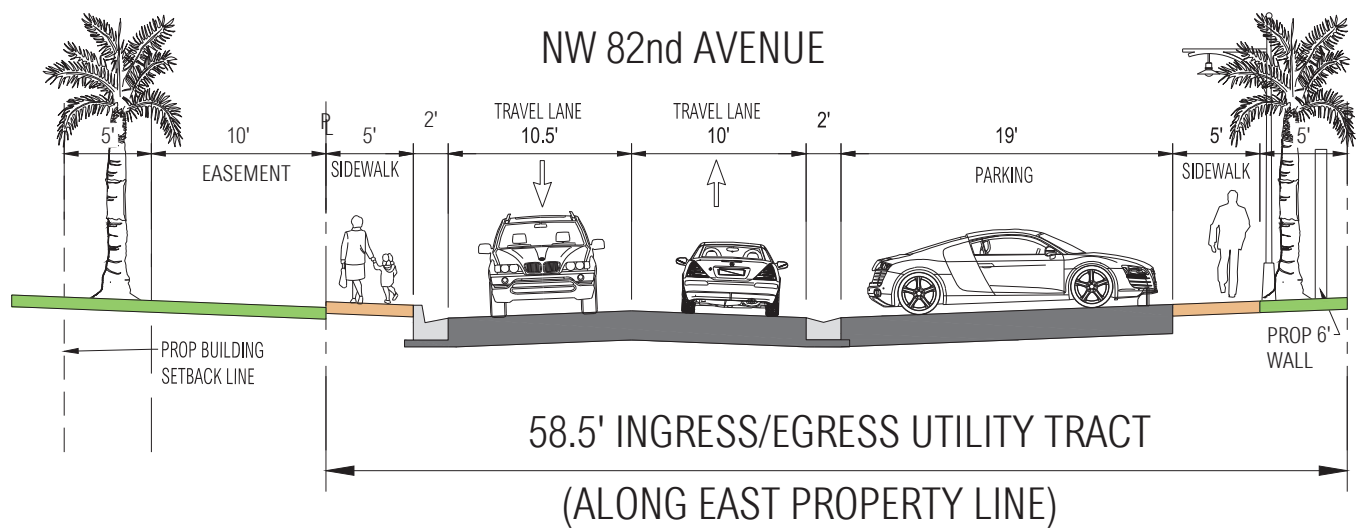
Amended 10/24/25

NW 83rd AVENUE



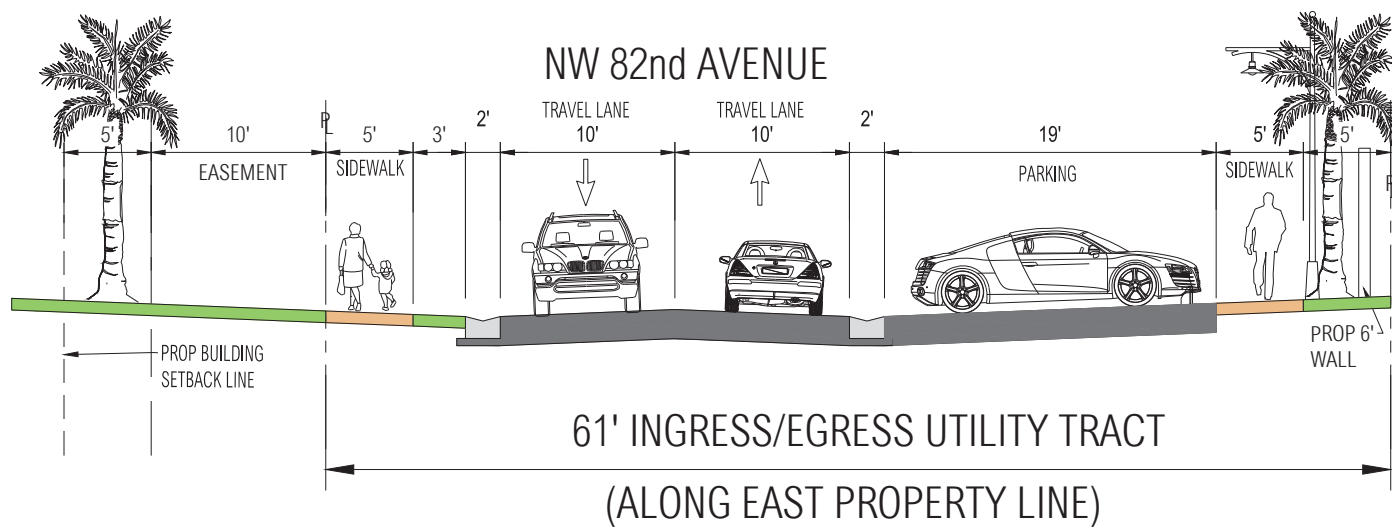
TYPE	RESIDENTIAL
DESIGN SPEED	30 MPH
CURB TYPE	VALLEY GUTTER
PLANTER WELLS	N/A
PLANTER SPACING	N/A
STREET LIGHT	80' SPACING (ONE SIDE)

Amended 10/24/25



TYPE	RESIDENTIAL
DESIGN SPEED	30 MPH
CURB TYPE	RAISED CURB/VALLEY GUTTER
PLANTER WELLS	N/A
PLANTER SPACING	N/A
STREET LIGHT	80' SPACING (ONE SIDE)

Amended 10/24/25



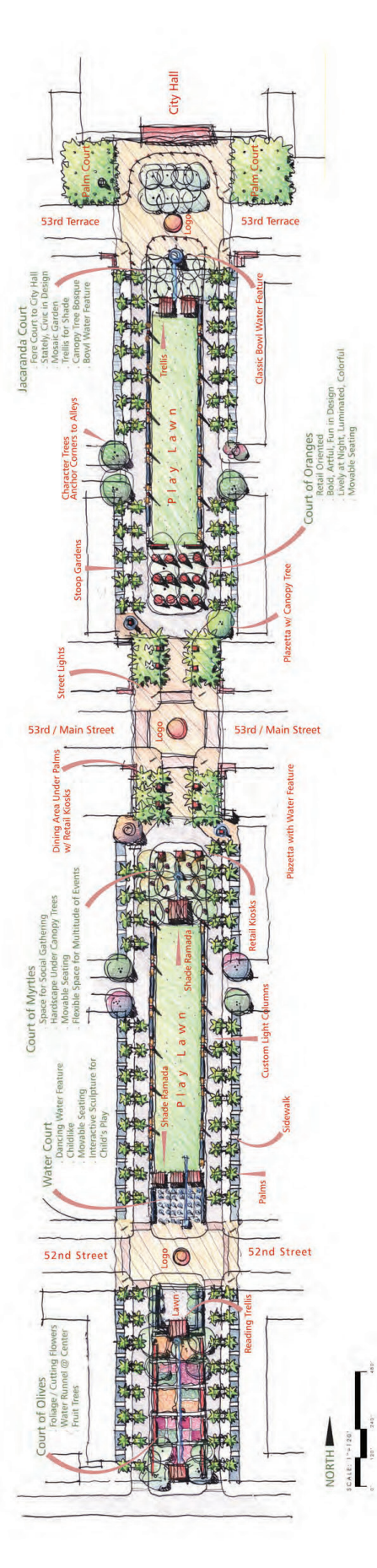
TYPE	RESIDENTIAL
DESIGN SPEED	30 MPH
CURB TYPE	VALLEY GUTTER
PLANTER WELLS	N/A
PLANTER SPACING	N/A
STREET LIGHT	80' SPACING (ONE SIDE)

Amended 10/24/25

DOWNTOWN DORAL

THOROUGHFARE STANDARDS

5



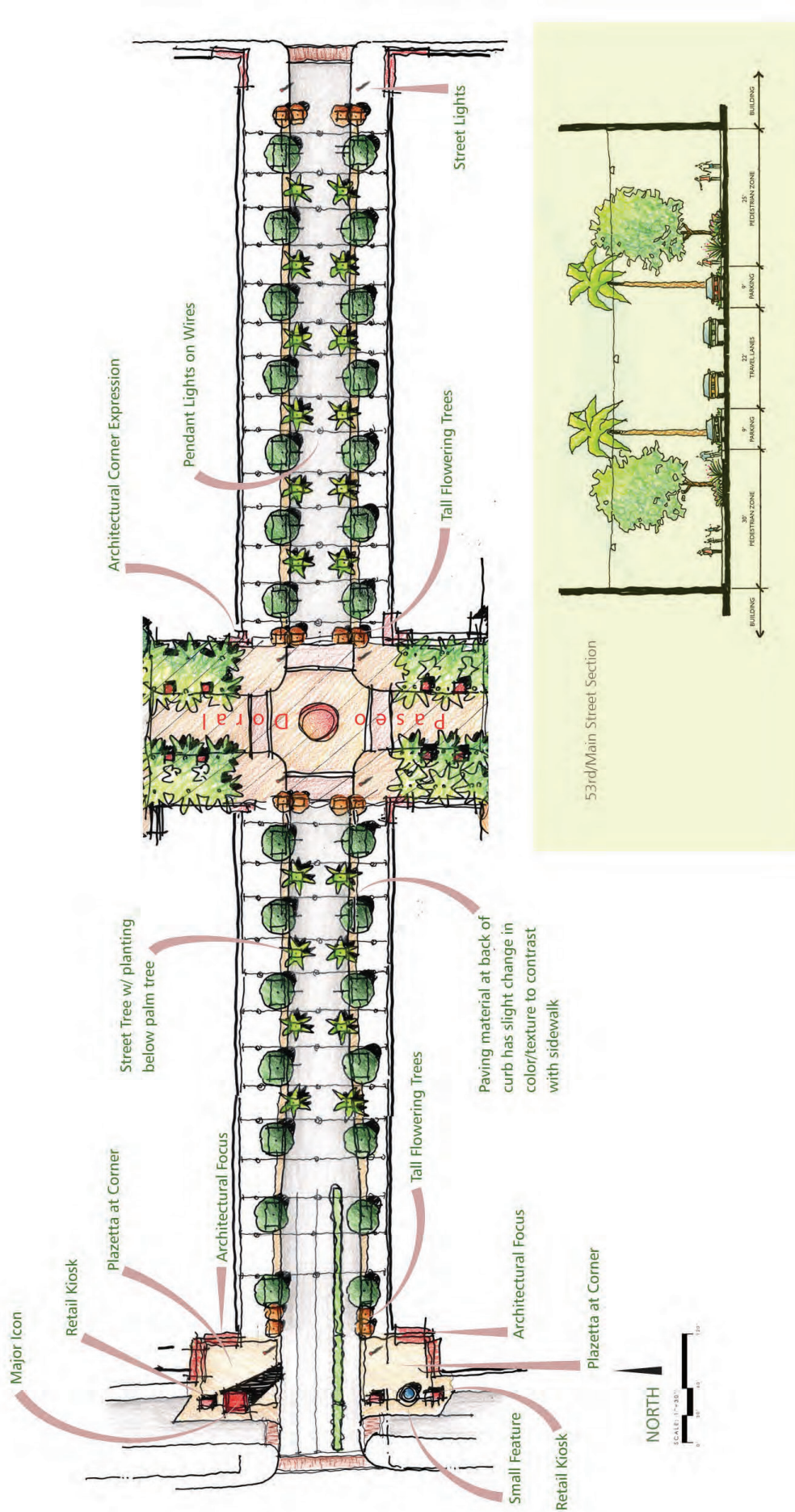
Paseo Doral-Conceptual
Design Streetscape Study

05-15-06



Florida Licence #AA2600496

Downtown Doral, Florida



53rd/Main Street
-Conceptual Design Streetscape Study

05-15-06

