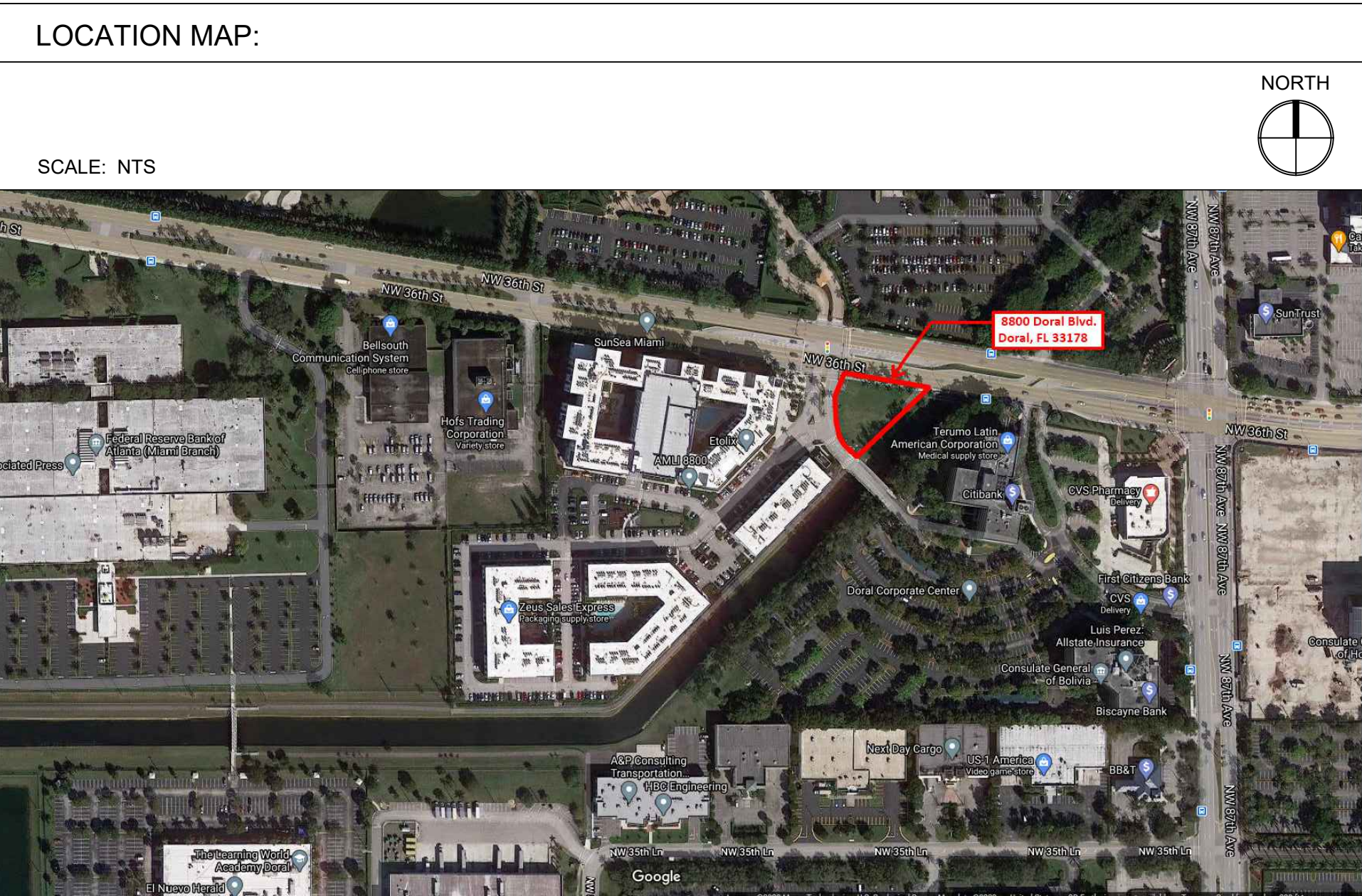


DORAL OCEAN BANK

8800 NW 36th Street (Doral Blvd)

Doral, Florida 33178

SITE PLAN SUBMISSION



DRAWING INDEX:

	SHEET #	TITLE	SCALE	TOTAL
GENERAL INFO	CV	COVER PAGE, PROJECT TEAM, LOCATION MAP, DRAWING INDEX	NTS	1
CIVIL ENGINEERING	C-100	COVER SHEET	AS NOTED	1
	C-102	SITE PLAN	AS NOTED	1
	C-300	PAVING AND GRADING PLAN	AS NOTED	1
	C-400	DRAINAGE PLAN	AS NOTED	1
LANDSCAPE ARCHITECTURE	L-000	LANDSCAPE SHEET INDEX	AS NOTED	1
	L-100	TREE DISPOSITION PLAN	AS NOTED	1
	L-150	TREE DISPOSITION NOTES AND DETAILS	AS NOTED	1
	L-200	HARDSCAPE PLAN	AS NOTED	1
	L-300	LANDSCAPE PLAN	AS NOTED	1
	L-350	LANDSCAPE NOTES AND SPECIFICATIONS	AS NOTED	1
	L-351	LANDSCAPE DETAILS	AS NOTED	1
	IRR-400	IRRIGATION PLAN	AS NOTED	1
	IRR-450	IRRIGATION NOTES	AS NOTED	1
	IRR-451	IRRIGATION DETAILS	AS NOTED	1
ARCHITECTURAL	A-1.1	FLOOR PLAN	1/4" = 1'-0"	1
	A-2.0	EXTERIOR ELEVATIONS	1/4" = 1'-0"	1
	A-9.0	RENDERINGS	NTS	1
ELECTRICAL ENGINEERING	E-0.2	ELECTRICAL SITE LIGHTING PLAN	AS NOTED	1
	E-0.3	ELECTRICAL SITE PHOTOMETRICS PLAN	AS NOTED	1
SURVEY	7109-3 - SHT 1	ALTA NSPS LAND TITLE SURVEY	AS NOTED	1
	7109-3 - SHT 2	ALTA NSPS LAND TITLE SURVEY	AS NOTED	1
	7109-3 - SHT 3	ALTA NSPS LAND TITLE SURVEY	AS NOTED	1
TOTAL SHEETS				23

Owner:

AMLI Residential

3701 Executive Ctr Dr, Ste 263

Austin, Texas 78731

Phone: 512.745.8404

Architect:

SEA - Steve Edwards Architecture

941 SE 14th Terrace

Deerfield Beach, Florida 33139

954.675.0950

Civil Eng /Landscape Architect:

KIMLEY-HORN

2 Alhambra Plaza, Suite 500

Coral Gables, Florida 33134

786.623.3560

MEP Engineer:

BILDWORX DESIGN, LLC

300 SE 2nd Street, Suite 600

Fort Lauderdale, Florida 33301

954.933.8294

Land Use Attorney:

TOOTHAKER.ORG

501 SW 2nd Avenue, Suite A

Fort Lauderdale, Florida 33301

954.675.6797

Owner's Representative:

Rothschild Downes

3356 South Broadway

Englewood, CO 80113

303.537.4745

Project Management:

Stys Hospitality Initiative

29 Farragut Road, Suite D

Boston, MA 02127

857.205.7904

Surveyor:

Caulfield & Wheeler, Inc.

7900 Glades Road, Suite 100

Boca Raton, FL 33434

561.392.1991

sea

Steve Edwards Architecture LLC  
954.675.0950  
941 S.E. 14 Terrace  
Deerfield Beach Florida  
33441

STATE OF FLORIDA  
STEPHEN PATRICK EDWARDS  
AR94857  
REGISTERED ARCHITECT  
Stephen Patrick Edwards  
AR 94857 ID 5628

Stephen P  
Edwards  
Digitally signed by  
Stephen P Edwards  
Date: 2024.03.07  
16:40:54 -05'00'

THIS DRAWING IS THE PROPERTY OF SEA ARCHITECTURE, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SEA ARCHITECTURE, LLC.

#2003.01-03 SITE PLAN

COVER

OCEAN BANK | AMLI  
8800 NW 36TH STREET  
DORAL, FLORIDA 33178

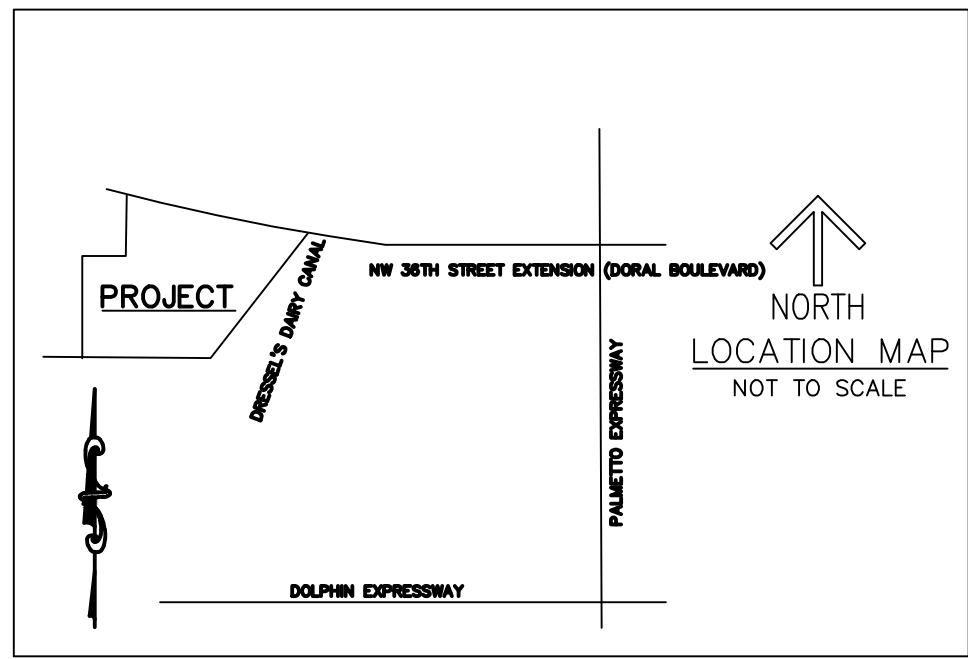
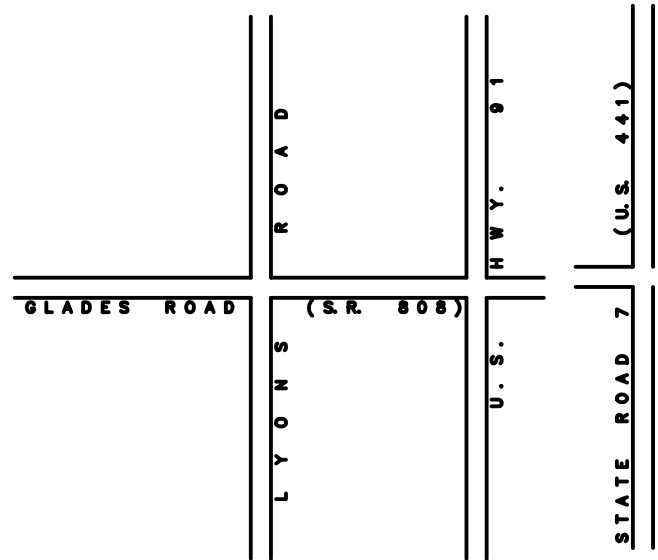
DRAWN: A.D.-S.E. CHECKED: A.D.-S.E.

SCALE: NTS

DATE: 1 MARCH 2024

CV





A/C - AIR CONDITIONER  
L - ARC LENGTH  
ALUM - ALUMINUM  
B.E. - BUFFER EASEMENT  
C.O. - CLEANOUT  
CLF - CHAIN LINK FENCE  
CONC. - CONCRETE  
COV. COVERED  
D.E. - DRAINAGE EASEMENT  
ELEC. - ELECTRIC  
ELEV. - ELEVATION  
EQUIP. - EQUIPMENT  
ESMT. - EASEMENT  
EXIST. - EXISTING  
F.P.L. - FLORIDA POWER & LIGHT  
FIN. - FINISHED  
FND. - FOUND  
I.R./CAP - IRON ROD & CAP

INV. - INVERT  
IRR. - IRRIGATION  
L.A.E. - LIMITED ACCESS EASEMENT  
O.S. - BUILDING OFFSET  
O.R.B. - OFFICIAL RECORD BOOK  
P.B. - PLAT BOOK  
P.B.C.R. - PALM BEACH COUNTY RECORD  
P.O.B. - POINT OF BEGINNING  
P.O.C. - POINT OF COMMENCEMENT  
POS. - PAGE(S)  
P.R.M. - PERMANENT REFERENCE MONUMENT  
PROP. - PROPOSED  
R - RADIUS  
R/W - RIGHT-OF-WAY  
RGE. - RANGE  
SEC. - SECTION  
A - DELTA (CENTRAL ANGLE)  
WASD - WATER AND SEWER DEPARTMENT

#### LEGEND

SQ. FT. - SQUARE FEET  
TWP. - TOWNSHIP  
TYP. - TYPICAL  
U.E. - UTILITY EASEMENT  
W.M. - WATER METER  
W.E. - WATER EASEMENT  
S.E. - SANITARY EASEMENT  
- LIGHT POLE  
- FIRE HYDRANT  
- CATCH BASIN  
- WATER VALVE  
- SET 5/8" IR/CAP LB 3591  
- SANITARY MANHOLE  
- DRAINAGE MANHOLE  
- GAS HAND HOLE  
- AT&T HAND HOLE  
- BELLSOUTH MANHOLE  
- FIBER OPTIC HAND HOLE  
- TRAFFIC SIGNAL HAND HOLE

C - CENTER LINE  
- EXISTING ELEVATION  
- TRAFFIC SIGN  
- ELECTRICAL WIRES OVERHEAD  
- ANCHOR  
- WATER METER  
- RPZ  
- GROUND LIGHT  
- ELECTRIC HAND HOLE  
- IRRIGATION CONTROL VALVE  
- YARD DRAIN  
- CLEANOUT  
- FIRE DEPARTMENT CONNECTION  
- WOOD POWER POLE (UNLESS NOTED)  
- DOUBLE DETECTOR CHECK VALVE

#### DESCRIPTION

TRACT C OF, IVAX TRACTS REPLAT, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 157, PAGE 44, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FORMERLY KNOWN AS THE FOLLOWING:

PARCEL A:

A PORTION OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 28, THENCE RUN NORTH 88° 53' 45" WEST, ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 28, FOR 34.93 FEET; AND THENCE RUN SOUTH 46° 01' 49" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF "DRESSSEL'S DAIRY CANAL", AS RECORDED IN OFFICIAL RECORDS BOOK 5176, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 812.84 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND: THENCE CONTINUE SOUTH 46° 01' 49" WEST, ALONG THE LAST DESCRIBED COURSE FOR 910.61 FEET; THENCE RUN NORTH 10° 32' 01" EAST, AT RIGHT ANGLES TO THE NEXT DESCRIBED COURSE FOR 741.37 FEET; AND THENCE RUN SOUTH 79° 27' 59" EAST, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF N.W. 36TH STREET AS RECORDED IN OFFICIAL RECORDS BOOK 7646, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 528.75 FEET TO THE POINT OF BEGINNING.

NOW KNOWN AS ALL OF FIDELITY ELECTRONICS, A SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 109, PAGE 83, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA.

AND

PARCEL B:

A PORTION OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 28, THENCE NORTH 88° 53' 45" WEST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 28 FOR 34.93 FEET; THENCE SOUTH 46° 01' 49" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF "DRESSSEL'S DAIRY CANAL" AS RECORDED IN OFFICIAL RECORDS BOOK 5176, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 812.84 FEET; THENCE NORTH 79° 27' 59" WEST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHWEST 36TH STREET AS RECORDED IN OFFICIAL RECORDS BOOK 7646, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA; AND THENCE DUE SOUTH FOR 220.27 FEET ALONG THE EAST LINE OF "FEDERAL RESERVE MIAMI" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 108, PAGE 50, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA; TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND: THENCE CONTINUE DUE SOUTH ALONG THE LAST DESCRIBED COURSE, FOR 191.13 FEET; THENCE SOUTH 88° 51' 08" EAST FOR 361.20 FEET; THENCE NORTH 46° 01' 49" EAST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID "DRESSSEL'S DAIRY CANAL" FOR 108.39 FEET; THENCE NORTH 10° 32' 01" EAST FOR 226.77 FEET; THENCE SOUTH 46° 01' 49" WEST, FOR 154.46 FEET; AND THENCE NORTH 88° 51' 08" WEST FOR 369.50 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

TRACT D OF IVAX TRACTS REPLAT, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 157, PAGE 44, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FORMERLY KNOWN AS THE FOLLOWING:

A PORTION OF THE NORTHEAST 1/4 OF SECTION 28, TOWNSHIP 53 SOUTH, RANGE 40 EAST, MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 28, THENCE NORTH 88° 53' 45" WEST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 28 FOR 34.93 FEET; THENCE SOUTH 46° 01' 49" WEST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF "DRESSSEL'S DAIRY CANAL" AS RECORDED IN OFFICIAL RECORDS BOOK 5176, PAGE 40, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 812.84 FEET; AND THENCE NORTH 79° 27' 59" WEST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NORTHWEST 36TH STREET AS RECORDED IN OFFICIAL RECORDS BOOK 7646, PAGE 122, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 528.75 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL OF LAND: THENCE CONTINUE NORTH 79° 27' 59" WEST ALONG THE LAST DESCRIBED COURSE FOR 359.09 FEET; THENCE DUE SOUTH FOR 451.14 FEET AND THENCE DUE WEST FOR 221.63 FEET; SAID LAST MENTIONED TWO COURSES BEING COINCIDENT WITH THE BOUNDARY OF "PALMTEL SUBDIVISION" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 102, PAGE 11, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA; THENCE DUE SOUTH ALONG THE EAST LINE OF "FEDERAL RESERVE MIAMI" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 108, PAGE 50, OF THE PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, FOR 220.27 FEET; THENCE SOUTH 88° 51' 08" EAST FOR 369.50 FEET; THENCE NORTH 46° 01' 49" EAST FOR 154.46 FEET; AND THENCE NORTH 10° 32' 01" EAST FOR 514.60 FEET TO THE POINT OF BEGINNING.

LESS PORTION OF TRACT C AND TRACT D CONVEYED TO MIAMI-DADE COUNTY BY RIGHT OF WAY DEED RECORDED MARCH 1, 2017 IN OFFICIAL RECORDS BOOK 30439, PAGE 363, BEING PARTICULARLY DESCRIBED AS FOLLOWS:

A PORTION OF TRACTS "C" AND "D", "IVAX TRACTS REPLAT", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 157, PAGE 44, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID TRACT "D"; THENCE SOUTH 79°27'59" EAST ON THE NORTH LINE OF SAID TRACT "D", ALSO BEING THE SOUTH RIGHT-OF-WAY LINE OF NW 36TH STREET EXTENSION (DORAL BOULEVARD) 10.98 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 79°27'59" EAST ALONG THE NORTH LINE OF SAID TRACT "D" AND "C" AND SAID SOUTH RIGHT-OF-WAY LINE 864.01 FEET; THENCE SOUTH 45°00'06" WEST 7.28 FEET; THENCE NORTH 79°27'59" WEST 174.20 FEET; THENCE SOUTH 10°32'01" WEST 11.50 FEET; THENCE NORTH 79°28'50" WEST 304.35 FEET; THENCE NORTH 66°41'54" WEST 52.40 FEET; THENCE NORTH 79°27'59" WEST 324.24 FEET; THENCE NORTH 34°26'44" WEST 8.48 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN MIAMI-DADE COUNTY, FLORIDA.

CONTAINING, IN ALL, 11.741 ACRES, MORE OR LESS.

#### CERTIFICATE:

TO: HEITMAN CREDIT ACQUISITION VII, LLC, ITS SUCCESSORS AND OR ASSIGNS; CHICAGO TITLE INSURANCE COMPANY; 8800 DORAL LLC; AKERMAN LLP; PPF AMLI 8800 DORAL BOULEVARD LLC, A DELAWARE LIMITED LIABILITY COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 6(B), 7(A)(B)(C), 8, 9, 11, 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 2, 2023.

DATE OF PLAT OR MAP: 6/02/2023

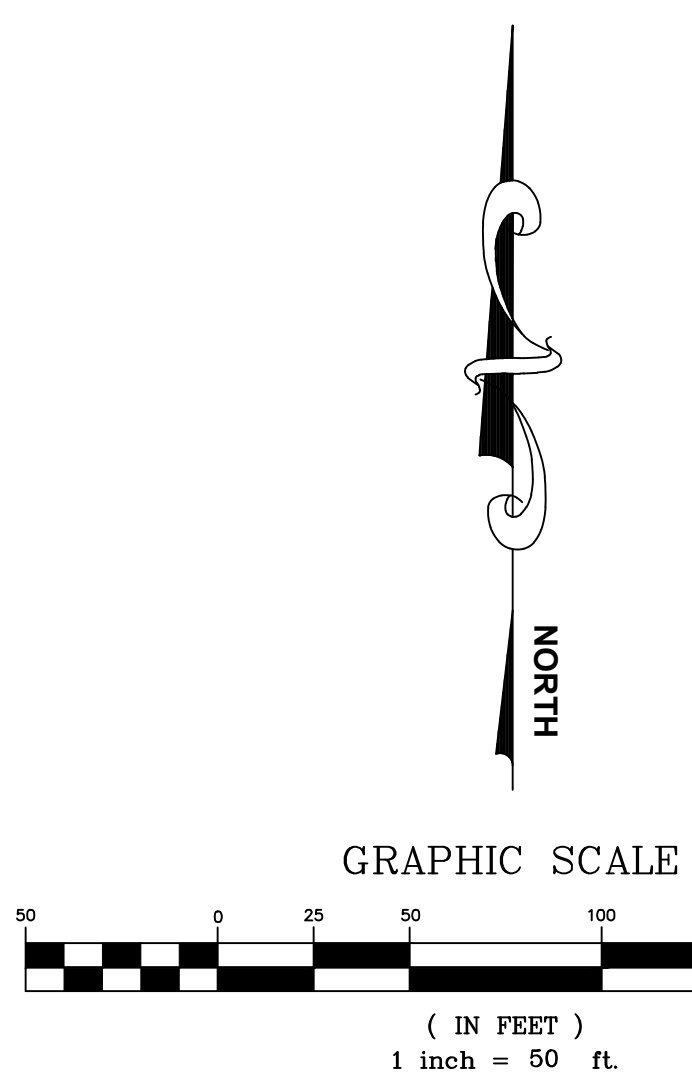
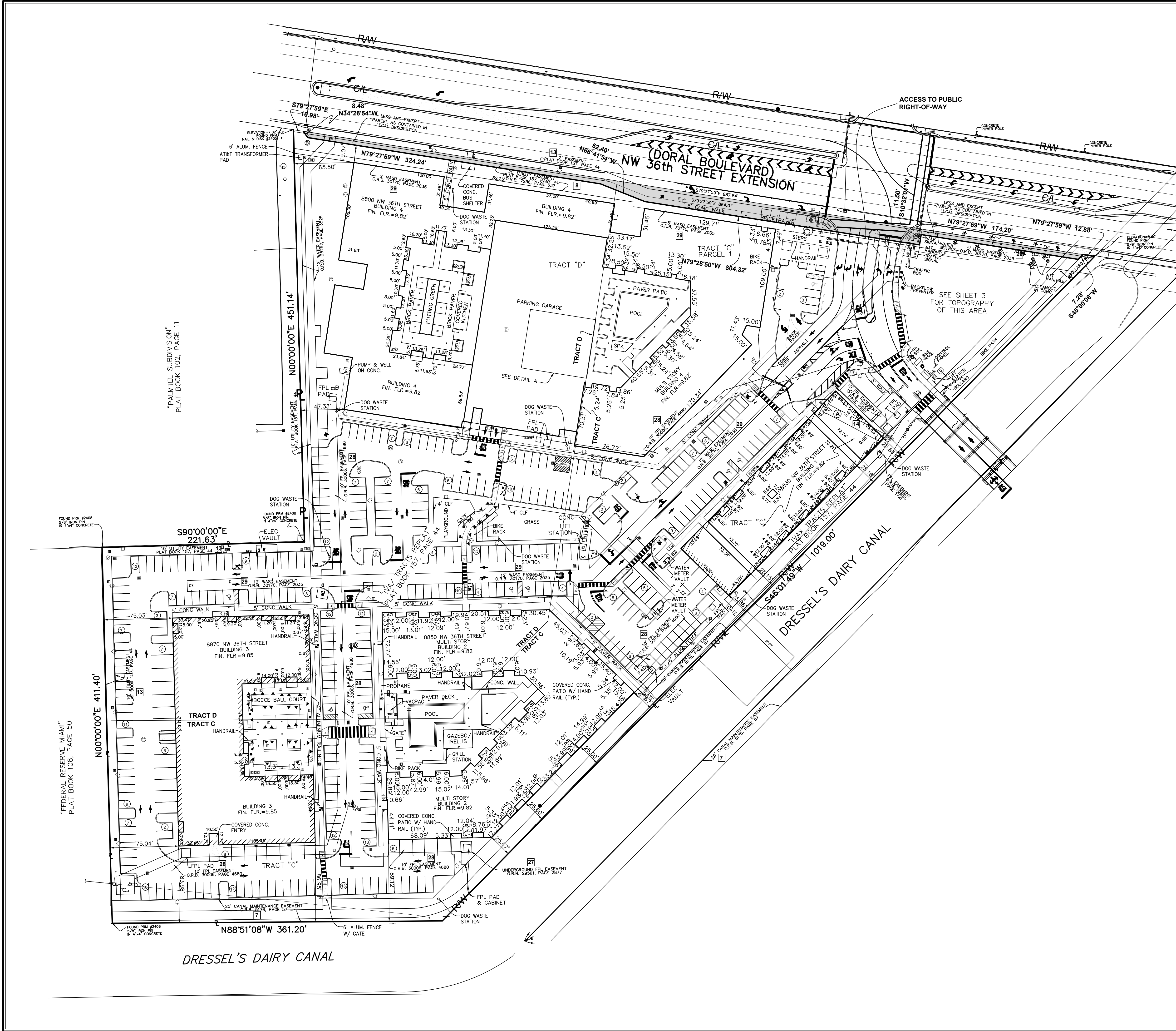
Digitally signed by  
Jeffrey R. Wagner  
Date: 2024.03.06  
14:49:55 -0500  
Adobe Acrobat version:  
2023.008.20555  
JEFFREY R. WAGNER, P.L.S.  
REG. LAND SURVEYOR #5302  
STATE OF FLORIDA - LB #3591

REF	TW	TW	TW	TW	TW	TW
8/16/17	620/17	92/17	12/11/15	11/20/15	11/18/15	11/14/15
FINAL SURVEY 4 WEST	FINAL SURVEY BUILDING 1 AND 3	FINAL SURVEY BUILDING 2 BUILDING 4	FORMER DORAL SURVEY BUILDING 2 AND 3 (PARTIAL)	FORMER DORAL SURVEY BUILDING 2 (PARTIAL)	STEMWALL SURVEY BUILDING 4 (PARTIAL)	STEMWALL SURVEY BUILDING 4 (PARTIAL)

DJH	DJH	DJH	DJH	DJH	DJH	DJH
2/25/2024	2/28/2024	2/28/2024	2/28/2024	2/28/2024	2/28/2024	2/28/2024
ADD TREE HEIGHTS & CANOPY SIZE	UPDATE SURVEY	UPDATE SURVEY	UPDATE SURVEY	UPDATE SURVEY	UPDATE SURVEY	UPDATE SURVEY
REVIEW TITLE COMMITMENT & REVISE SURVEY	REVIEW TITLE COMMITMENT & REVISE SURVEY	REVIEW TITLE COMMITMENT & REVISE SURVEY	REVIEW TITLE COMMITMENT & REVISE SURVEY	REVIEW TITLE COMMITMENT & REVISE SURVEY	REVIEW TITLE COMMITMENT & REVISE SURVEY	REVIEW TITLE COMMITMENT & REVISE SURVEY

FILE NAME	7/08 UPDATE SURVEY 2024.dwg	
REVISIONS	DATE	BY
FORWARD SURVEY BUILDING 1	8/4/15	TW
STEMWALL SURVEY BUILDING 4 (PARTIAL)	9/12/15	TW
SLAB SURVEY BUILDING 4 (PARTIAL)	9/21/15	ACE
SLAB SURVEY BUILDING 1	9/21/15	ACE
STEMWALL SURVEY BUILDING 4 (PARTIAL)	10/8/15	TW





SCHEDULE B-II EXCEPTIONS		
CHICAGO TITLE INSURANCE COMPANY		
Issuing Office File Number: 4711016581 / 401900695SJ		
Commitment Date: 06/18/2019 at 8:00 AM		
Exception	Instrument Book & Page	Affect on Property
5	DB 176, PAGE 339	AFFECTS; NOT PLOTTED
6	DB 2243, PAGE 349	AFFECTS; NOT PLOTTED
6	ORB 1335, PAGE 108	AFFECTS; NOT PLOTTED
6	ORB 1482, PAGE 216	AFFECTS; NOT PLOTTED
6	ORB 9929, PAGE 136	AFFECTS; NOT PLOTTED
6	ORB 2240, PAGE 283	AFFECTS; NOT PLOTTED
6	ORB 5976, PAGE 705	AFFECTS; NOT PLOTTED
6	ORB 13588, PAGE 2324	AFFECTS; NOT PLOTTED
6	ORB 11431, PAGE 1978	AFFECTS; NOT PLOTTED
7	ORB 5178, PAGE 57	AFFECTS AS SHOWN
8	ORB 7256, PAGE 637	AFFECTS AS SHOWN
9	ORB 9940, PAGE 23	AFFECTS; NOT PLOTTED
10	ORB 10044, PAGE 914	AFFECTS; NOT PLOTTED
11	ORB 10250, PAGE 1258	AFFECTS; NOT PLOTTED
12	PB 109, PAGE 83	AFFECTS AS SHOWN
13	PB 157, PAGE 44	AFFECTS AS SHOWN
14	ORB 10450, PAGE 1721	AFFECTS AS SHOWN
15	ORB 18973, PAGE 4898	AFFECTS; NOT PLOTTED
16	ORB 18988, PAGE 1355	AFFECTS; NOT PLOTTED
17	ORB 18988, PAGE 1478	AFFECTS; NOT PLOTTED
18	ORB 18988, PAGE 1482	AFFECTS; NOT PLOTTED
19	ORB 19022, PAGE 804	AFFECTS; NOT PLOTTED
20	ORB 25252, PAGE 3525	AFFECTS AS SHOWN
21	ORB 29398, PAGE 2259	AFFECTS; NOT PLOTTED
22	ORB 29398, PAGE 2264	AFFECTS; NOT PLOTTED
22	ORB 30147, PAGE 2254	AFFECTS; NOT PLOTTED
23	ORB 29461, PAGE 757	AFFECTS; NOT PLOTTED
24	ORB 29461, PAGE 790	AFFECTS; NOT PLOTTED
25	ORB 29461, PAGE 805	AFFECTS; NOT PLOTTED
26	ORB 29430, PAGE 4554	AFFECTS; NOT PLOTTED
26	ORB 30185, PAGE 1406	AFFECTS; NOT PLOTTED
27	ORB 29561, PAGE 2877	AFFECTS AS SHOWN
28	ORB 30006, PAGE 4680	AFFECTS AS SHOWN
29	ORB 30170, PAGE 2035	AFFECTS AS SHOWN
30	ORB 30193, PAGE 578	AFFECTS; NOT PLOTTED

ENCROACHMENTS  
(A) ENCROACHMENT A - BUILDING ENCROACHES INTO FPL EASEMENT

LEGEND

- A/C - AIR CONDITIONER  
L - ARC LENGTH  
ALUM. - ALUMINUM  
B.E. - BUFFER EASEMENT  
C.O. - CLEANOUT  
CLF - CHAIN LINK FENCE  
CONC. - CONCRETE  
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ELEC. - ELECTRIC  
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F.P.L. - FLORIDA POWER & LIGHT  
FIN. - FINISHED  
FLR. - FLOOR  
FND. - FOUND  
I.R./CAP - IRON ROD & CAP  
[1] EXCEPTION NUMBER  
  
SQ. FT. - SQUARE FEET  
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TYP. - TYPICAL  
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W.M. - WATER METER  
W.E. - WATER EASEMENT  
S.E. - SANITARY EASEMENT  
LIGHT POLE  
  
FIRE HYDRANT  
CATCH BASIN  
WATER VALVE  
SET 5/8" IRICAP LB 3591  
SANITARY MANHOLE  
DRAINAGE MANHOLE  
GAS HAND HOLE  
AT&T HAND HOLE  
BELLSOUTH MANHOLE

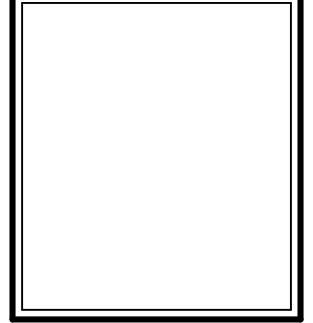
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ELECTRICAL WIRES OVERHEAD  
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ELECTRIC HAND HOLE  
IRRIGATION CONTROL VALVE  
YARD DRAIN  
CLEANOUT  
FIRE DEPARTMENT CONNECTION  
WOOD POWER POLE (UNLESS NOTED)  
FIBER OPTIC HAND HOLE  
DOUBLE DETECTOR CHECK VALVE  
TRAFFIC SIGNAL HAND HOLE

205/2024	DJH	ADD TREE HEIGHTS & CANOPY SIZE
202/2023	DJH	UPDATE SURVEY
7/25/19	SAS	UPDATE IMPROVEMENTS
12/05/17	TMS	UPDATE IMPROVEMENTS
8/16/17	RFJ	REVIEW TITLE COMMITMENT & REVISE SURVEY
8/20/17	TW	FINAL SURVEY 4 WEST
11/15/16	TW	FINAL SURVEY BUILDING 1 AND 3
12/11/15	TW	FORMSLAB SURVEY BUILDING 4
11/20/15	TW	FORMSLAB SURVEY BUILDING 2 AND 3 (PARTIAL)
11/18/15	TW	FORMSLAB SURVEY BUILDING 4 (PARTIAL)
11/14/15	TW	STEMWALL SURVEY BUILDING 4 (PARTIAL)
10/6/15	TW	STEMWALL SURVEY BUILDING 1
9/21/15	ACE	SLAB SURVEY BUILDING 4 (PARTIAL)
9/12/15	TW	STEMWALL SURVEY BUILDING 4 (PARTIAL)
8/4/15	TW	FORMSLAB SURVEY BUILDING 1

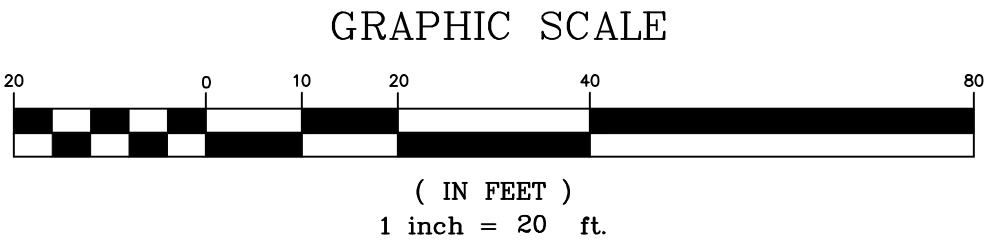
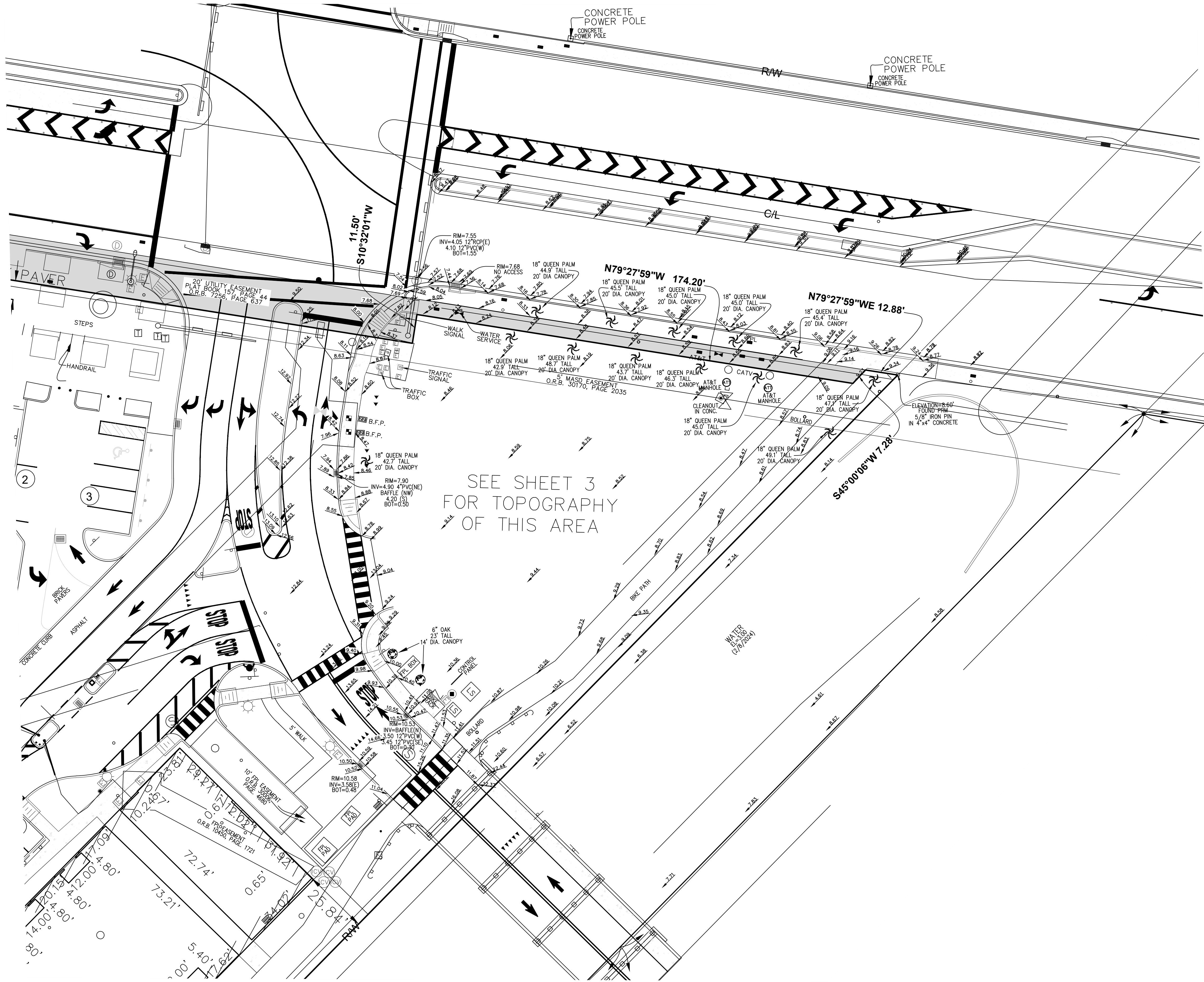
CAULFIELD 8, WHEELER, INC.  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561) 392-1991 / FAX (561) 750-1452

DORAL GATEWAY  
RESIDENTIAL DEVELOPMENT  
ALTA NSPS LAND TITLE SURVEY

DATE	0000
DRAWN BY	BJF
F.B./ PG.	ELEC.
SCALE	1"=50'







LEGEND

- A/C - AIR CONDITIONER
- L - ARC LENGTH
- ALUM. - ALUMINUM
- B.E. - BUFFER EASEMENT
- B.F.P. - BACKFLOW PREVENTER
- C.O. - CLEANOUT
- CLF - CHAIN LINK FENCE
- CONC. - CONCRETE
- COV. COVERED
- D.E. - DRAINAGE EASEMENT
- ELEV. - ELEVATION
- EQUIP. - EQUIPMENT
- ESMT. - EASEMENT
- EXIST. - EXISTING
- F.P.L. - FLORIDA POWER & LIGHT
- IR/CAP - IRON ROD & CAP
- L.S. - LIFT STATION
- 1 - EXCEPTION NUMBER
- SQ. FT. - SQUARE FEET
- TWP. - TOWNSHIP
- TYP. - TYPICAL
- U.E. - UTILITY EASEMENT
- W.M. - WATER METER
- W.E. - WATER EASEMENT
- S.E. - SANITARY EASEMENT
- LIGHT POLE
- FIRE HYDRANT
- CATCH BASIN
- WATER VALVE
- SET 5/8\"/>
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- GAS HAND HOLE
- AT&T HAND HOLE
- BELLSOUTH MANHOLE
- INVERT
- IRR. - IRRIGATION
- L.A.E. - LIMITED ACCESS EASEMENT
- B.O.S. - BUILDING OFFSET
- O.R.B. - OFFICIAL RECORD BOOK
- P.B. - PLAT BOOK
- P.B.C.S. - PALM BEACH COUNTY RECORD
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- P.G.S. - PAGE(S)
- P.R.M. - PERMANENT REFERENCE MONUMENT
- PROP. - PROPOSED
- R - RADIUS
- R/W - RIGHT-OF-WAY
- RGE. - RANGE
- SEC. - SECTION
- DELTA (CENTRAL ANGLE)
- WASD - WATER AND SEWER DEPARTMENT
- CENTER LINE
- EXISTING ELEVATION
- TRAFFIC SIGN
- ELECTRICAL WIRES OVERHEAD
- ANCHOR
- WATER METER
- RPZ
- GROUND LIGHT
- ELECTRIC HAND HOLE
- IRRIGATION CONTROL VALVE
- YARD DRAIN
- CLEANOUT
- FIRE DEPARTMENT CONNECTION
- WOOD POWER POLE (UNLESS NOTED)
- FIBER OPTIC HAND HOLE
- DOUBLE DETECTOR CHECK VALVE
- TRAFFIC SIGNAL HAND HOLE

ADD TREE HEIGHTS & CANOPY SIZE	D.H.	2/5/2024
UPDATE SURVEY	D.H.	2/5/2024
UPDATE IMPROVEMENTS	D.H.	6/22/2023
UPDATE IMPROVEMENTS/TITLE	SAS	7/25/19
REVIEW TITLE COMMITMENT & REVISE SURVEY	TMS	12/05/17
FINAL SURVEY 4 WEST	RFJ	8/16/17
FINAL SURVEY BUILDING 1 AND 3	TW	6/20/17
FINAL SURVEY BUILDING 4	TW	1/15/16
FORMSLAB SURVEY BUILDING 3 (PARTIAL)	TW	12/11/15
FORMSLAB SURVEY BUILDING 2 AND 3 (PARTIAL)	TW	11/20/15
STEMWALL SURVEY BUILDING 4 (PARTIAL)	TW	11/18/15
STEMWALL SURVEY BUILDING 4 (PARTIAL)	TW	11/14/15
STEMWALL SURVEY BUILDING 1	ACE	9/21/15
SLAB SURVEY BUILDING 4 (PARTIAL)	ACE	9/21/15
STEMWALL SURVEY BUILDING 4 (PARTIAL)	TW	9/12/15
FORMSLAB SURVEY BUILDING 1	TW	8/4/15
REVISIONS	DATE	BY
FILE NAME: 7109 UPDATE SURVEY 2024.dwg		

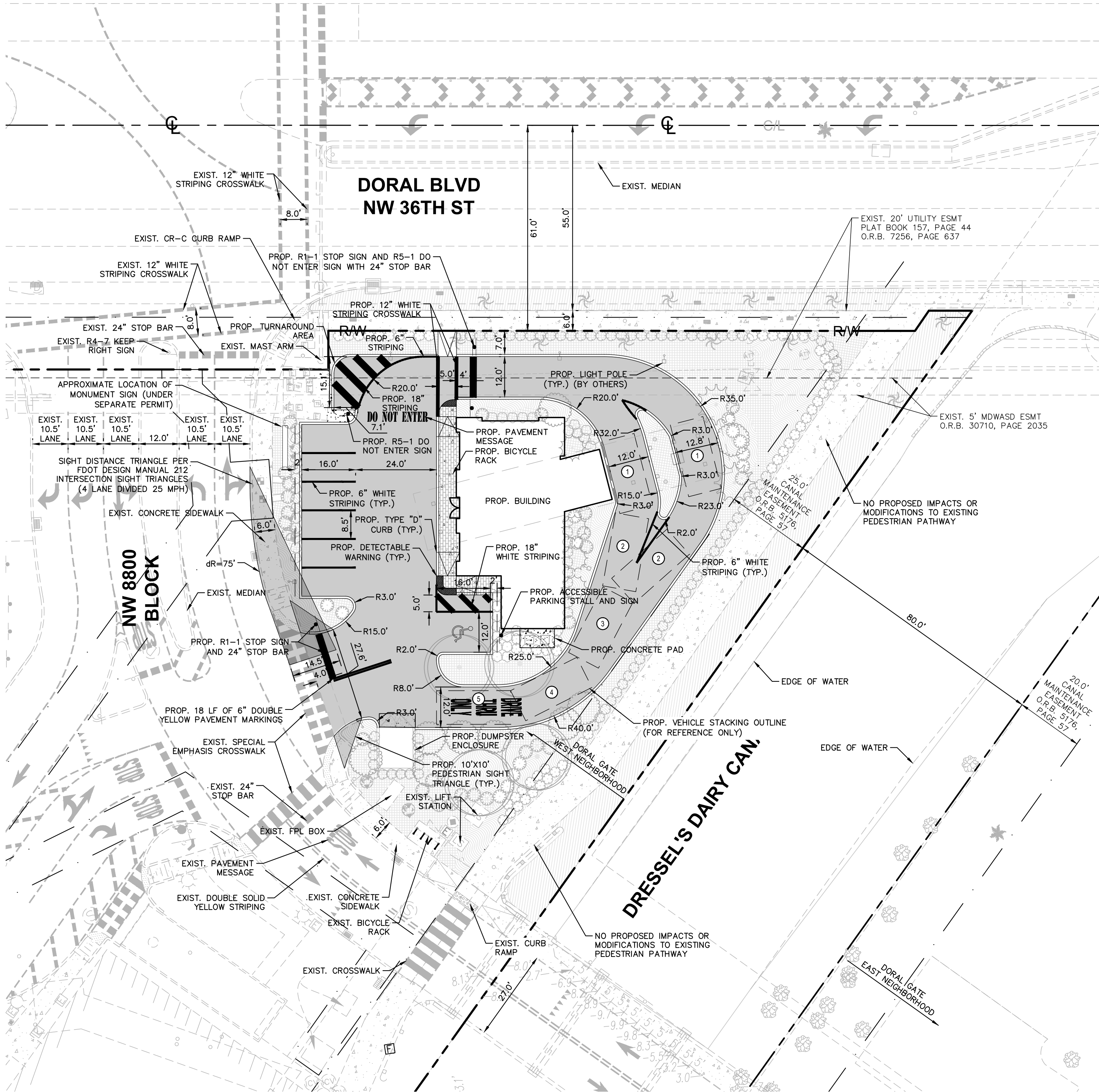
CAULFIELD & WHEELER, INC.  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561) 392-1991 / FAX (561) 750-1452

DORAL GATEWAY  
RESIDENTIAL DEVELOPMENT  
ALTA NSPS LAND TITLE SURVEY

DATE	0000
DRAWN BY	B.J.F.
F.B./ PG.	ELEC.
SCALE	1"=20'



Plotted By: Mario, Matthew Sheet Set: OCEAN BANK AMU Layout: C-102 SITE PLAN May 03, 2024 11:59:15am K:\WB-Civil\143771001-Doral Ocean Bank\Civil\CADD\PlanSheets\C-102 SITE PLAN.dwg  
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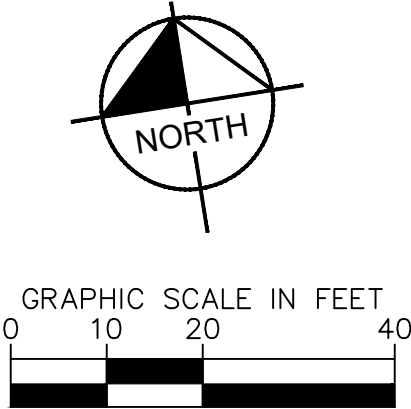


NOTES:

- ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE THERMOPLASTIC PAINT.
- ALL STOP BARS AND DOUBLE SOLID YELLOW LINES WITHIN THE PROPERTY TO BE INSTALLED ON ASPHALT SHALL BE THERMOPLASTIC PAINT.
- ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE RESTORED TO MEET EXISTING CONDITIONS AFTER THE INSTALLATION OF ALL PROPOSED UTILITIES AND PAVEMENT RESTORATION.
- ALL THERMOPLASTIC PAINT SHALL ADHERE TO FDOT STANDARD SPECIFICATIONS - SECTION 711.
- ALL PAINTED PAVEMENT MARKINGS SHALL ADHERE TO FDOT STANDARD SPECIFICATIONS - SECTION 710.
- STREET SIGNS: USE MIAMI-DADE COUNTY STANDARD STREET NAME SIGN APPROVED BY MIAMI-DADE COUNTY.

LEGEND:

- RIGHT-OF-WAY LINE OR PROPERTY LINE
- CENTER LINE OF ROADWAY
- BUILDING OUTLINE
- PROP. THERMOPLASTIC ARROW
- PROP. DIRECTIONAL ARROW
- PROP. VEHICLE STACKING COUNT



Sec. 77-231. Required.

All commercial and office uses utilizing drive-through facilities shall provide vehicle stacking area based on the following criteria:

- (1) Size of space. Stacking area shall be designed based on a ten-foot by 22-foot space per required vehicle.

- (2) Design of stacking area. The stacking area required below shall be designed so as to operate independently of other required parking and circulation areas.

The required number of vehicle spaces shall include the vehicle being served.

(Ord. No. 2007-12, ex. A (ch. IX, § 7(a), (b)), 8-22-2007)

Sec. 77-232. Required stacking area.

The required stacking areas shall be as follows:

Use:	Number of Spaces:
Financial institutions	5 spaces per service lane
Restaurant:	6 spaces per service lane with a minimum of 3 spaces behind the order station or menu.
Utility business office	8 spaces per service lane
Auto wash (self-service)	3 spaces per service lane
Auto wash (attendant service or drive-through automatic service)	8 spaces per service lane
Service stations (gasoline, quick lube, and other drive-through facilities)	3 spaces per service lane
All other drive-through facilities	3 spaces per service lane

VEHICLE STACKING CODE REQUIREMENTS

OCEAN BANK SITE CALCULATIONS

AREA	SF	ACRES	%
TOTAL AFFECTED AREA	17567	0.403	100
PROP. PERVIOUS AREA	6626	0.152	38
PROP. IMPERVIOUS AREA	10941	0.251	62
PROP. BUILDING AREA	1956	0.045	11
PROP. PAVEMENT AREA	8985	0.206	51

BUILDING SETBACKS

SETBACK	REQUIRED (FT)	PROVIDED (FT)
FRONT (NORTH)	20	25'-9" BUILDING 25'-1" CANOPY
REAR (SOUTH)	25	863
SIDE (EAST)	25	43'-8" BUILDING 30'-1" CANOPY
SIDE (WEST)	10	720

PARKING CALCULATIONS

USE	QTY	RATIO	REQUIRED
GROSS AREA	1956	1 PARKING SPACE FOR EVERY 300 SF	7
STANDARD PARKING PROVIDED			6
HANDICAP PARKING REQUIRED			1
HANDICAP PARKING PROVIDED			1
TOTAL PARKING PROVIDED			7

SITE SUMMARY

JURISDICTION	CITY OF DORAL
ZONING	IC
OVERLAY	DMU
FLU	DOWNTOWN MIXED-USE
USE	RETAIL (BANK)
TYPE OF CONSTRUCTION	COMMERCIAL
PARCEL ID	35-3028-026-0010

LOT

SIZE	17567	SF
------	-------	----

BUILDING

SIZE	1956	SF
HEIGHT	11'-4" T.O. BLDG PARAPET 17'-0" T.O. CANOPY	
CONSTRUCTION TYPE	III-B (SPRINKLERED)	
F.A.R.	0.11	

PARKING

STALL SIZE	6 SPACES - 8.5' X 16' 1 SPACE - 12' X 16' (2 FT OVERHANG PROVIDED FOR 18 FT TOTAL LENGTH)
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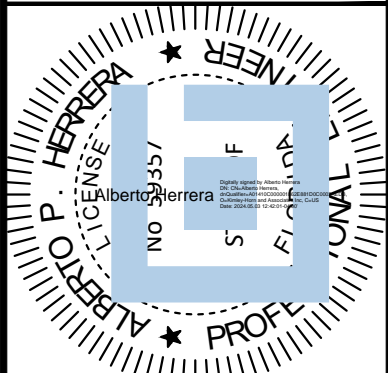
LANDSCAPE BUFFERS

SETBACK	REQUIRED (FT)	PROVIDED (FT)
FRONT (NORTH)	5	7
REAR (SOUTH)	0	9
SIDE (EAST)	20	6
SIDE (WEST)	0	11

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DATE: 5/3/2024

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2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33134  
PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM REGISTRY: 35106



KHA PROJECT	143771001
DATE	02/08/2024
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

SITE PLAN

**DORAL OCEAN BANK**  
PREPARED FOR  
**8800 DORAL, LLC**

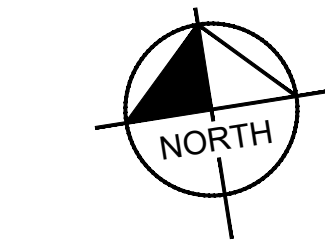
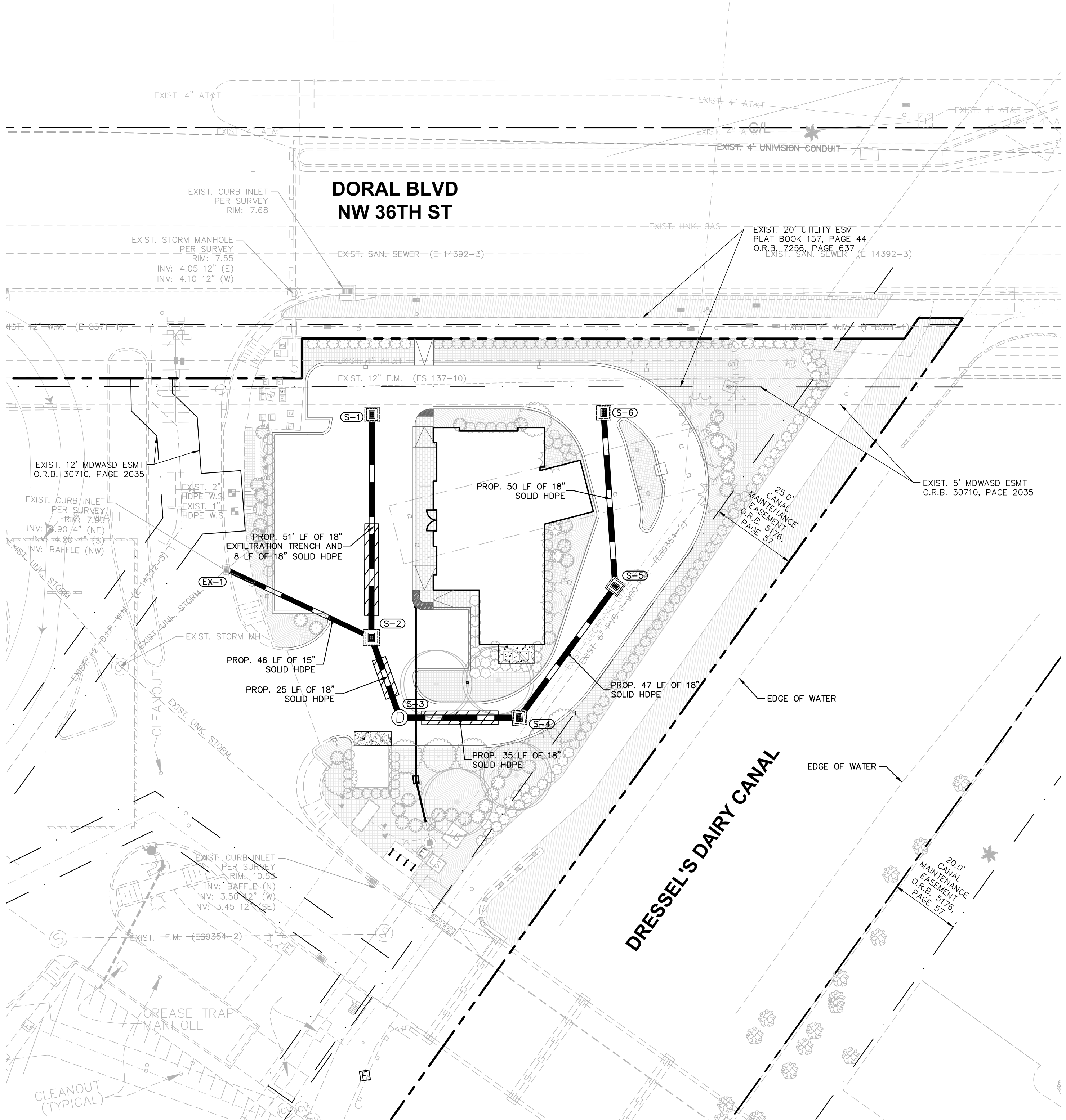
SHEET NUMBER  
**C-102**



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

MAY 03 2024










GRAPHIC SCALE IN FEET

0 10 20 40

LEGEND:

- |   |                             |
|---|-----------------------------|
|  | RIGHT OF WAY/ PROPERTY LINE |
|  | CENTERLINE OF ROADWAY       |
|  | PROP. LANDSCAPE AREA        |
|  | PROP. EXFILTRATION TRENCH   |
|  | EXIST. EASEMENT             |

STRUCTURE NUMBER	STRUCTURE TYPE	RIM ELEVATION	INVERT ELEVATION (* DENOTES BAFFLE)
EX-1	EXIST. CATCH BASIN	RIM = 7.90	(15') 4.00 (SE) (15') 4.00 (SW) (6") 4.90 (NE)
S-1	PROP. CATCH BASIN	RIM = 8.55	(18') 5.00 (S)
S-2	PROP. CATCH BASIN	RIM = 8.65	(18") 5.00 (N) (15") 4.00 (NW) (18") 5.30 (S)
S-3	PROP. STORM MANHOLE	RIM = 9.10	(18") 5.30 (N) (18") 5.30 (E)
S-4	PROP. CATCH BASIN	RIM = 9.13	(18") 5.30 (W) (18") 5.30 (NE)
S-5	PROP. CATCH BASIN	RIM = 8.86	(18") 5.30 (SW) (18") 5.30 (N)
S-6	PROP. CATCH BASIN	RIM = 8.90	(18") 5.30 (S)

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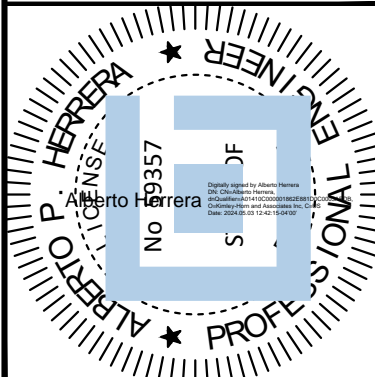
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**DORAL OCEAN BANK**  
**PREPARED FOR**  
**8800 DORAL, LLC**

CITY OF DORAL

# DRAINAGE PLAN

KHA PROJECT	143771001
DATE	02/08/2024
SCALE	AS SHOWN
DESIGNED BY	---
DRAWN BY	---
CHECKED BY	---



MAY. 03 2024

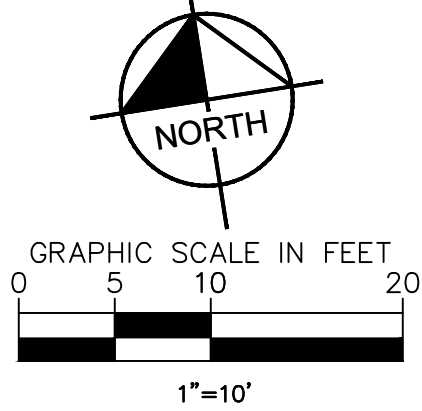
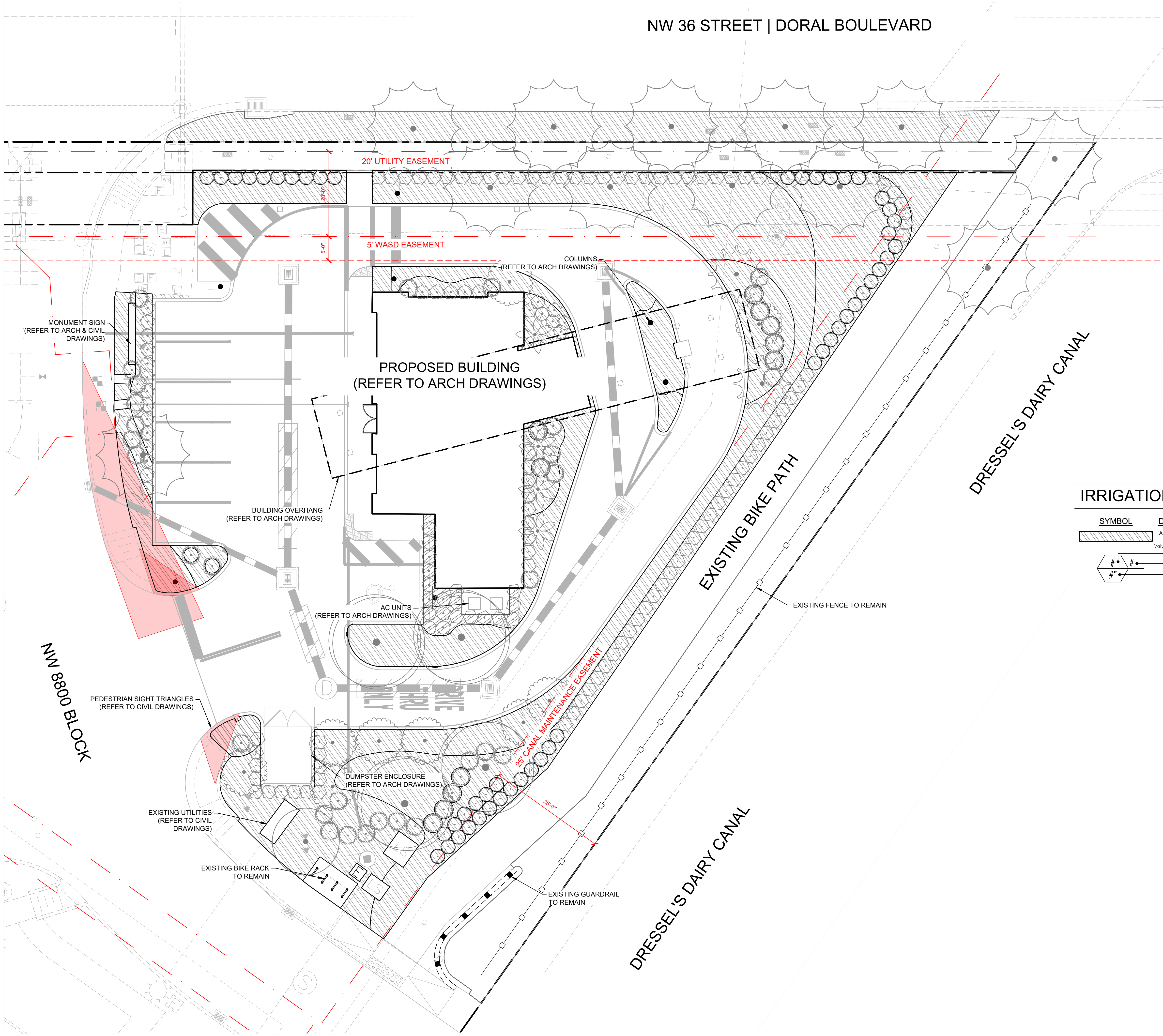
**Kimley»»Horn**

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LEGEND:  
— RW — — P — RIGHT OF WAY/ PROPERTY LINE

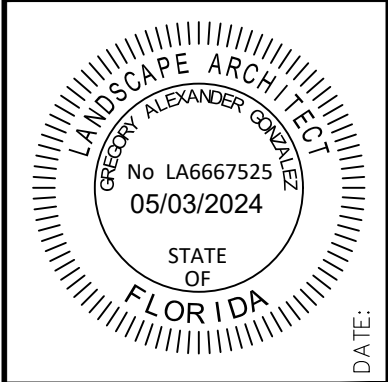
IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY
	AREAS TO BE IRRIGATED	8,160 S.F.
	Valve Callout	
	Valve Number	
	Valve Flow	
	Valve Size	

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No.	REVISIONS	DATE	BY

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	CO	DATE
143771001	MARCH 2004	AS SHOWN	AML	AML			

DORAL OCEAN BANK  
PREPARED FOR  
8800 DORAL, LLC

IRRIGATION PLAN

CITY OF DORAL

FL

SHEET NUMBER  
IRR-400

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Plotted By: Liberman, Amy    Sheet Set: DORAL OCEAN BANK    Layout: IRR-450    IRRIGATION NOTES    May 03, 2024    11:20:01am    K:\vmb-ctval\143717001-doral ocean bank\landscape\CADD\plansheets\LANDSCAPE SHEETS\IRR450 IRRIGATION NOTES.dwg    This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL IRRIGATION SPECIFICATIONS AND NOTES

UNDERGROUND IRRIGATION SYSTEM

PART I: GENERAL

1.01 SCOPE

- A. THE WORK COVERED BY THIS SPECIFICATION SHALL INCLUDE THE FURNISHING OF ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY TO PERFORM AND COMPLETE THE INSTALLATION OF AN AUTOMATIC IRRIGATION SYSTEM AS SPECIFIED HEREIN AND AS SHOWN ON THE DRAWINGS AND ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED WHICH CAN REASONABLY BE DETERMINED TO BE PART OF THE WORK AND NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM.
- B. THE WORK COVERED BY THIS SPECIFICATION ALSO INCLUDES ALL PERMITS, FEDERAL, STATE AND LOCAL TAXES AND ALL OTHER COSTS, BOTH FORESEEABLE AND UNFORESEEABLE AT THE TIME OF CONSTRUCTION.
- C. NO DEVIATION FROM THESE SPECIFICATIONS, THE ACCOMPANYING DRAWINGS, OR AGREEMENT IS AUTHORIZED OR SHALL BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION SIGNED BY THE OWNER OR HIS DULY APPOINTED REPRESENTATIVE.
- 1.02 QUALITY ASSURANCE
- A. INSTALL QUALIFICATIONS: A FIRM SPECIALIZING IN IRRIGATION WORK WITH NOT LESS THAN FIVE (5) YEARS OF EXPERIENCE IN INSTALLING IRRIGATION SYSTEMS SIMILAR TO THOSE REQUIRED FOR THIS PROJECT.
- B. COORDINATION: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
- C. INSPECTION OF SITE: THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL SITE CONDITIONS, INCLUDING UNDERGROUND UTILITIES BEFORE CONSTRUCTION IS TO BEGIN. CONTRACTOR SHALL COORDINATE PLACEMENT OF UNDERGROUND MATERIALS WITH CONTRACTORS PREVIOUSLY WORKING UNDERGROUND IN THE VICINITY OR THOSE SCHEDULED TO DO UNDERGROUND WORK IN THE VICINITY. CONTRACTOR IS RESPONSIBLE FOR MINOR ADJUSTMENTS IN THE LAYOUT OF THE WORK TO ACCOMMODATE EXISTING FACILITIES.
- D. PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS: THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS TO REMAIN. SHOULD DAMAGES BE INCURRED, THIS CONTRACTOR SHALL REPAIR THE DAMAGE TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE. ANY DISRUPTION, DESTRUCTION, OR DISTURBANCE OF ANY EXISTING PLANT, TREE, SHRUB, OR TURF, OR ANY STRUCTURE SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER AND HIS REPRESENTATIVES, SOLELY AT THE CONTRACTOR'S EXPENSE.
- E. PROTECTION OF WORK AND PROPERTY: THE CONTRACTOR SHALL BE LIABLE FOR AND SHALL TAKE THE FOLLOWING ACTIONS AS REQUIRED WITH REGARD TO DAMAGE TO ANY OF THE OWNER'S PROPERTY.

1. ANY EXISTING BUILDING, EQUIPMENT, PIPING, PIPE COVERINGS, ELECTRICAL SYSTEMS, SEWERS, SIDEWALKS, ROADS, GROUNDS, LANDSCAPING OR STRUCTURE OF ANY KIND (INCLUDING WITHOUT LIMITATION, DAMAGE FROM LEAKS IN THE PIPING SYSTEM BEING INSTALLED OR HAVING BEEN INSTALLED BY CONTRACTOR) DAMAGED BY THE CONTRACTOR, OR BY HIS AGENTS, EMPLOYEES, OR SUBCONTRACTORS, DURING THE COURSE OF HIS WORK, WHETHER THROUGH NEGLIGENCE OR OTHERWISE, SHALL BE REPAIRED OR REPAIRED BY CONTRACTOR AT HIS OWN EXPENSE IN A MANNER SATISFACTORY TO OWNER. WHEN REPAIR OR REPLACEMENT SHALL BE A CONDITION PRECEDENT TO OWNER'S OBLIGATION TO MAKE FINAL PAYMENT UNDER THE CONTRACT.
2. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DAMAGE TO ANY WORK COVERED BY THESE SPECIFICATIONS BEFORE FINAL ACCEPTANCE OF THE WORK. HE SHALL SECURELY COVER ALL OPENINGS INTO THE SYSTEMS AND COVER ALL APPARATUS, EQUIPMENT AND APPLIANCES, BOTH BEFORE AND AFTER BEING SET IN PLACE TO PREVENT OBSTRUCTIONS ON THE PIPES AND THE BREAKAGE, MISUSE OR DISFIGUREMENT OF THE APPARATUS, EQUIPMENT OR APPLIANCE.
3. ALL TRENCING OR OTHER WORK UNDER THE LEAF CANOPY OF ANY AND ALL TREES SHALL BE DONE BY HAND OR BY OTHER METHODS SO THAT NO BRANCHES ARE DAMAGED IN ANY WAY. BUILDINGS, WALKS, WALLS, AND OTHER PROPERTY SHALL BE PROTECTED FROM DAMAGE. OPEN DITCHES LEFT EXPOSED SHALL BE FLAGGED AND BARRICADED BY THE CONTRACTOR BY APPROVED MEANS. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING THE PROPER UTILITY COMPANY TO STAKE THE EXACT LOCATION OF ANY UNDERGROUND LINES INCLUDING BUT NOT LIMITED TO ELECTRIC, GAS, TELEPHONE SERVICE, WATER, AND CABLE. THE CONTRACTOR SHALL TAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PROTECT THESE UNDERGROUND LINES FROM DAMAGE. IN THE EVENT DAMAGE DOES OCCUR, ALL DAMAGE SHALL BE COMPLETELY REPAIRED TO ITS ORIGINAL CONDITION, AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL REQUEST THE OWNER, IN WRITING, TO LOCATE ANY PRIVATE UTILITIES (I.E., ELECTRICAL SERVICE TO OUTSIDE LIGHTING) BEFORE PROCEEDING WITH ANY EXCAVATION. IF, AFTER SUCH REQUESTS AND NECESSARY STAKING, PRIVATE UTILITIES WHICH WERE NOT STAKED ARE ENCOUNTERED AND DAMAGED BY THE CONTRACTOR, THEY SHALL BE REPAIRED BY THE OWNER AT NO COST TO THE CONTRACTOR. IF THE CONTRACTOR DAMAGES STAKED OR LOCATED UTILITIES, THEY SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- F. CODES AND INSPECTIONS: THE ENTIRE INSTALLATION SHALL COMPLY FULLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES AND WITH ALL ESTABLISHED CODES ARRANGE FOR ALL NECESSARY INSPECTIONS AND SHALL PAY ALL FEES AND EXPENSES IN CONNECTION WITH SAME, AS PART OF THE WORK UNDER THIS CONTRACT. UPON COMPLETION OF THE WORK, HE SHALL FURNISH TO THE "OWNER" ALL INSPECTION CERTIFICATES CUSTOMARILY ISSUED IN CONNECTION WITH THE CLASS OF WORK INVOLVED.
- G. THE CONTRACTOR SHALL KEEP ON HIS WORK, DURING ITS PROGRESS, A COMPETENT SUPERINTENDENT AND ANY NECESSARY ASSISTANTS, ALL SATISFACTORY TO THE OWNER, OR OWNER'S REPRESENTATIVE.
- H. THE SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR IN HIS ABSENCE AND ALL DIRECTIONS GIVEN TO HIM SHALL BE AS BINDING AS IF GIVEN TO THE CONTRACTOR.
- I. THE OWNER'S LANDSCAPE ARCHITECT OR DESIGNATED INDIVIDUAL SHALL HAVE FULL AUTHORITY TO APPROVE OR REJECT WORK PERFORMED BY THE CONTRACTOR. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL ALSO HAVE FULL AUTHORITY TO MAKE FIELD CHANGES THAT ARE DEEMED NECESSARY.
- J. FINAL ACCEPTANCE: FINAL ACCEPTANCE OF THE WORK MAY BE OBTAINED FROM THE OWNER UPON THE SATISFACTORY COMPLETION OF ALL WORK. ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR OWNER IN NO WAY REMOVES THE CONTRACTOR OF HIS RESPONSIBILITY TO MAKE FURTHER REPAIRS, CORRECTIONS AND ADJUSTMENTS TO ELIMINATE ANY DEFICIENCIES WHICH MAY LATER BE DISCOVERED.
- K. GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP TO THE SATISFACTION OF THE OWNER. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AT NO COST TO THE OWNER.

1. THE GUARANTEE SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR WORKMANSHIP, TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR WORK DAMAGED BY OTHERS. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY. THE GUARANTEE SHALL STATE THE NAME OF THE OWNER, PROVIDE FULL GUARANTEE TERMS, EFFECTIVE AND TERMINATION DATE, NAME AND LICENSE NUMBER OF CONTRACTOR PROVIDING GUARANTEE, ADDRESS, AND TELEPHONE NUMBER. IT SHALL BE SIGNED BY THE CHIEF EXECUTIVE OF THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.
2. IF, WITHIN TEN (10) DAYS AFTER MAILING OF WRITTEN NOTICE BY THE OWNER TO THE CONTRACTOR REQUESTING REPAIRS OR REPLACEMENT RESULTING FROM A BREACH OF WARRANTY, THE CONTRACTOR SHALL NEGLECT TO MAKE OR UNDERTAKE WITH DUE DILIGENCE TO MAKE THE SAME, THE OWNER MAY MAKE SUCH REPAIRS AT THE CONTRACTOR'S EXPENSE; PROVIDED, HOWEVER, THAT IN THE CASE OF EMERGENCY WHERE, IN THE JUDGMENT OF THE OWNER, DELAY WOULD CAUSE SERIOUS LOSS OR DAMAGE, REPAIRS OR REPLACEMENT MAY BE MADE WITHOUT NOTICE BEING SENT TO THE CONTRACTOR, AND CONTRACTOR SHALL PAY THE COST THEREOF.
- L. THE CONTRACTOR SHALL PROVIDE FULL, 100% IRRIGATION COVERAGE IN ALL AREAS DESIGNED WITH PROPOSED PLANTINGS, IN ACCORDANCE WITH THE SITE'S GOVERNING PERMITTING REQUIREMENTS AND AS DESIGNED.
- M. ON-SITE OBSERVATION: AT ANY TIME DURING THE INSTALLATION OF THE IRRIGATION SYSTEM BY THE CONTRACTOR, THE OWNER OR LANDSCAPE ARCHITECT MAY VISIT THE SITE TO OBSERVE WORK UNDERWAY. UPON REQUEST, THE CONTRACTOR SHALL BE REQUIRED TO UNCOVER SPECIFIED WORK AS DIRECTED BY THE OWNER OR MATERIAL, WORKMANSHIP OR METHOD OF INSTALLATION NOT MEET THE STANDARDS SPECIFIED HEREIN, THE CONTRACTOR SHALL REPLACE THE WORK AT HIS OWN EXPENSE.
- N. WORKMANSHIP: ALL WORK SHALL BE INSTALLED BY QUALIFIED, SKILLED PERSONNEL, PROFICIENT IN THE TRADES REQUIRED, IN A NEAT, ORDERLY, AND RESPONSIBLE MANNER WITH RECOGNIZED STANDARDS OF WORKMANSHIP. THE CONTRACTOR SHALL HAVE HAD CONSIDERABLE EXPERIENCE AND DEMONSTRATED ABILITY IN THE INSTALLATION OF SPRINKLER IRRIGATION SYSTEMS OF THIS TYPE.

- 1.03 SUBMITTALS
- A. ALL MATERIALS SHALL BE THOSE SPECIFIED AND/OR APPROVED BY THE LANDSCAPE ARCHITECT.
- B. PRODUCT DATA: AFTER THE AWARD OF THE CONTRACT AND PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE OWNER AND LANDSCAPE ARCHITECT, TWO COPIES OF THE COMPLETE LIST OF MATERIALS, MANUFACTURER'S TECHNICAL DATA, AND INSTALLATION INSTRUCTIONS WHICH HE PROPOSES TO INSTALL.
- C. COMMENCE NO WORK BEFORE APPROVAL OF MATERIAL LIST AND DESCRIPTIVE MATERIAL BY THE LANDSCAPE ARCHITECT.
- D. RECORD DRAWINGS: THE CONTRACTOR SHALL RECORD ON REPRODUCIBLES, ALL CHANGES THAT MAY BE MADE DURING ACTUAL INSTALLATION OF THE SYSTEM. PROVIDE CONTROLLER SEQUENCING AND CONTROL VALVE LOCATIONS.
- E. IMMEDIATELY UPON INSTALLATION OF ANY PIPING, VALVES, WIRING, SPRINKLERS, ETC., IN LOCATIONS OTHER THAN SHOWN ON THE ORIGINAL DRAWINGS OR OF SIZES OTHER THAN INDICATED, THE

- CONTRACTOR SHALL CLEARLY INDICATE SUCH CHANGES ON A SET OF BLUELINE PRINTS. RECORDS SHALL BE MADE ON A DAILY BASIS. ALL RECORDS SHALL BE NEAT AND SUBJECT TO THE APPROVAL OF THE OWNER.
2. THE CONTRACTOR SHALL ALSO INDICATE ON THE RECORD PRINTS THE LOCATION OF ALL WIRE SPLICES, ORIGINAL OR DUE TO REPAIR, THAT ARE INSTALLED UNDERGROUND IN A LOCATION OTHER THAN THE CONTROLLER PEDISTAL, REMOTE CONTROL VALVE BOX, POWER SOURCE OR CONNECTION TO A VALVE-IN-HEAD SPRINKLER.
3. THESE DRAWINGS SHALL ALSO SERVE AS WORK PROGRESS SHEETS. THE CONTRACTOR SHALL MAKE NEAT AND LEGIBLE NOTATIONS THEREON DAILY AS THE WORK PROCEEDS, SHOWING THE WORK AS ACTUALLY INSTALLED. THESE DRAWINGS SHALL BE AVAILABLE AT ALL TIMES FOR REVIEW AND SHALL BE KEPT IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
4. PROGRESS PAYMENT REQUEST AND RECORD DRAWING INFORMATION MUST BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PAYMENT IS MADE.
5. IF IN THE OPINION OF THE OWNER OR HIS REPRESENTATIVE, THE RECORD DRAWING INFORMATION IS NOT BEING PROPERLY OR PROMPTLY RECORDED, CONSTRUCTION PAYMENT MAY BE STOPPED UNTIL THE PROPER INFORMATION HAS BEEN RECORDED AND SUBMITTED.
6. BEFORE THE DATE OF THE FINAL SITE OBSERVATION AND APPROVAL, THE CONTRACTOR SHALL DELIVER ONE SET (COPIES) OF REPRODUCIBLE RECORD DRAWING PLANS AND NOTES TO THE LANDSCAPE ARCHITECT. RECORD DRAWING INFORMATION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTAL TO OWNER FOR FINAL PAYMENTS, INCLUDING RETENTIONS.
- D. OPERATIONS AND MAINTENANCE MANUALS: THE CONTRACTOR SHALL PREPARE AND DELIVER TO THE OWNER, OR HIS DESIGNATED REPRESENTATIVE WITHIN TEN (10) CALENDAR DAYS PRIOR TO COMPLETION OF CONSTRUCTION, A HARD COVER BINDER WITH THREE RINGS CONTAINING THE FOLLOWING INFORMATION:
1. INDEX SHEET STATING THE CONTRACTOR'S ADDRESS AND BUSINESS TELEPHONE NUMBER, LIST OF EQUIPMENT WITH NAME(S) AND ADDRESS(ES) OF LOCAL MANUFACTURER'S REPRESENTATIVE(S).
2. CATALOG AND PARTS SHEETS ON EVERY MATERIAL AND EQUIPMENT INSTALLED UNDER THIS CONTRACT.
3. COMPLETE OPERATING AND MAINTENANCE INSTRUCTION ON ALL MAJOR EQUIPMENT, INCLUDE INITIAL CONTROLLER SCHEDULE AND RECOMMENDED SCHEDULE AFTER ESTABLISHMENT PERIOD.
4. DEMONSTRATE TO AND PROVIDE THE OWNER'S MAINTENANCE PERSONNEL WITH INSTRUCTIONS FOR MAJOR EQUIPMENT AND SHOW EVIDENCE IN WRITING TO THE OWNER, OR HIS DESIGNATED REPRESENTATIVE AT THE CONCLUSION OF THE PROJECT THAT THIS SERVICE HAS BEEN RENDERED.

1.04 EXPLANATION OF DRAWINGS

- A. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS AND SLEEVES WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH OFFSETS, FITTINGS AND SLEEVES AS MAY BE REQUIRED TO MEET SUCH CONDITIONS.
- B. THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING AND ARCHITECTURAL FEATURES. DEVIATIONS SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION.
- C. ALL WORK CALLED FOR ON THE DRAWINGS BY NOTES OR DETAILS SHALL BE FURNISHED AND INSTALLED WHETHER OR NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS.
- D. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN KNOWN IN ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY.
- E. IF, IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE LABOR FURNISHED BY THE CONTRACTOR IS INCOMPETENT, UNSKILLED, OR UNRELIABLE, HIS EQUIPMENT INADEQUATE, IMPROPER OR UNSAFE, OR IF THE CONTRACTOR SHALL FAIL TO CONTINUOUSLY AND DILIGENTLY EXECUTE THE CONSTRUCTION, THE LANDSCAPE ARCHITECT OR OWNER SHALL, IN WRITING, INSTRUCT THE CONTRACTOR TO REMOVE ALL SUCH CAUSES OF NONCOMPLIANCE AND THE CONTRACTOR SHALL PROMPTLY COMPLY.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND COMPLETE COVERAGE OF ALL IRRIGATION AREAS. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY NECESSARY ADJUSTMENTS AT NO ADDITIONAL COST TO THE OWNER. ANY REVISIONS TO THE IRRIGATION SYSTEM MUST BE SUBMITTED AND ANSWERED IN WRITTEN FORM, ALONG WITH ANY CHANGE IN CONTRACT PRICE. LAYOUT MAY BE MODIFIED, IF NECESSARY TO OBTAIN COVERAGE. SPACING NOT TO EXCEED 60% OF THE DIAMETER.

PART II: PRODUCTS

2.01 MATERIALS

- A. MATERIAL AND EQUIPMENT SHALL BE SUPPLIED BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER/LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL INSPECT ALL MATERIALS AND EQUIPMENT PRIOR TO INSTALLATION, AND DEFECTIVE MATERIALS SHALL BE REPLACED WITH THE PROPER MATERIALS AND EQUIPMENT. THOSE ITEMS USED IN THE INSTALLATION FOUND TO BE DEFECTIVE, IMPROPERLY INSTALLED OR NOT AS SPECIFIED, SHALL BE REMOVED AND THE PROPER MATERIALS AND EQUIPMENT INSTALLED IN THE PROPER MANNER, AS INTERPRETED BY THE OWNER/LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REMOVE ALL DAMAGED AND DEFECTIVE PIPE AND EQUIPMENT FROM THE SITE.

2.02 PIPING

- A. GENERAL PROVISIONS: ALL MATERIALS THROUGHOUT THE SYSTEM SHALL BE NEW AND IN PERFECT CONDITION UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- B. POLYVINYL CHLORIDE PIPE (PVC): (WHERE INDICATED ON PLAN, USE NON-POTABLE PURPLE PIPING.)
1. LATERALS: PVC SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 2241, CLASS 1120 OR 1220. ALL LATERAL PIPING LESS THAN 3" IN DIAMETER SHALL BE CLASS 200 SDR-21.
2. MAIN LINE UNDER PRESSURE: PVC SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 2241, CLASS 1120 OR 1220, SCHEDULE 40 WITH BELLED END FOR SOLVENT WELD CONNECTION.
3. PIPE MARKINGS: ALL PVC PIPE SHALL BEAR THE FOLLOWING MARKINGS:
- a. MANUFACTURER'S NAME
- b. NOMINAL PIPE SIZE
- c. SCHEDULE OR CLASS
- d. PRESSURE RATING OF PSI
- e. NSF (NATIONAL SANITATION FOUNDATION) APPROVAL
- f. DATE OF EXTRUSION

2.03 PVC JOINTS

- A. JOINTS IN PVC PIPE SMALLER THAN 3" SHALL BE SOLVENT WELDED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PIPE MANUFACTURER, THE SOLVENT CLEANER AND WELDING COMPOUND FURNISHED WITH THE PIPE.

2.04 THREADED CONNECTIONS

- A. THREADED PVC CONNECTIONS SHALL BE MADE UP USING TEFLON TAPE ONLY.
- B. CONNECTION BETWEEN MAINLINE PIPE FITTINGS AND AUTOMATIC OR MANUAL CONTROL VALVES SHALL BE MADE USING SCHEDULE 80 THREADED FITTINGS AND NIPPLES.

2.05 SOLVENT CEMENT

- A. GENERAL: PROVIDE SOLVENT CEMENT AND PRIMER FOR PVC SOLVENT WELD PIPE AND FITTINGS RECOMMENDED BY THE MANUFACTURER. PIPE JOINTS FOR SOLVENT WELD PIPE TO BE BELLED END. PIPE JOINTS FOR GASKETED PIPE TO BE INTRICAL RING TYPE. INSERT GASKETS WILL NOT BE ACCEPTED.
- B. THRUST BLOCKS: MAIN LINE PIPING 3" OR GREATER IN DIAMETER SHALL HAVE THRUST BLOCKS SIZED AND PLACED IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS OR, IN THE ABSENCE OF SPECIFIED RECOMMENDATIONS BY THE PIPE MANUFACTURER, 3000 PSI CONCRETE THRUSTS SHALL BE PROPERLY INSTALLED AT TEES, ELBOWS, 45'S, CROSSES, REDUCERS, PLUGS, CAPS AND VALVES.

2.06 PIPE AND WIRE SLEEVES

A. SLEEVES TO BE INSTALLED:

1. THE CONTRACTOR SHALL INSTALL IRRIGATION SYSTEM PIPE AND WIRE SLEEVES CONFORMING TO THE FOLLOWING:
- a. ALL PIPE SLEEVES SHALL EXTEND A MINIMUM OF 36" BEYOND THE EDGES OF PAVEMENT.
- b. ALL PIPE SLEEVES TO BE INSTALLED BENEATH FUTURE/EXISTING ROAD SURFACES SHALL BE PVC PIPE SCHEDULE 40 OR JACK AND BORE STEEL PIPE AS PER FOOT SPECIFICATIONS, AND AS SHOWN ON PLANS.
- c. ALL IRRIGATION SYSTEM WIRES SHALL BE SLEEVED SEPARATELY FROM MAIN OR LATERAL LINES.
- d. ALL PIPE SLEEVES SHALL BE INSTALLED AT THE MINIMUM DEPTH SPECIFIED FOR MAIN LINES, LATERAL LINES, AND ELECTRIC WIRE.

- e. CONTRACTOR SHALL COORDINATE ALL PIPE SLEEVE LOCATIONS AND DEPTHS PRIOR TO INITIATING INSTALLATION OF THE IRRIGATION SYSTEM.

2.09 AUTOMATIC CONTROL VALVE

- A. THE AUTOMATIC REMOTE CONTROL VALVES SHALL BE AS SPECIFIED ON THE PLANS, OR APPROVED EQUAL GATE VALVES

2.10 GATE VALVES

- A. GATE VALVES FOR 3/4" THROUGH 2-1/2" SHALL BE OF BRASS OR BRONZE CONSTRUCTION, SOLID WEDGE, IPS THREADS, NON-RISING STEM WITH WHEEL OPERATING HANDLE, FOR A CONTINUOUS WORKING PRESSURE OF 150 PSI.
- B. GATE VALVES FOR 3" AND LARGER: IRON BODY, BRASS OR BRONZE MOUNTED AWWA GATE VALVES, WITH A CLEAR WATERWAY EQUAL TO THE FULL NOMINAL DIAMETER OF THE VALVE, RUBBER GASKET FOR A CONTINUOUS WORKING PRESSURE OF 150P PSI. VALVE SHALL BE EQUIPPED WITH A SQUARE OPERATING NUT.

2.11 VALVE BOXES

- A. FOR GATE VALVES, USE AMETEK #10-181-014 BOX WITH #10-181-015 LOCKING LID, OR AS PER THE DRAWINGS.
- B. FOR CONTROL VALVES 3/4" THROUGH 2", THE DRIP VALVE ASSEMBLIES, USE AMETEK #10-181-014 BOX WITH #10-181-015 LOCKING LID, OR SIZED AS NECESSARY TO EFFECTIVELY HOUSE THE EQUIPMENT
- C. FOR CONTROL WIRING SPLICES, USE AMETEK #10-181-014 BOX WITH #10-181-015 LOCKING LID, OR AS PER THE DRAWINGS.

2.12 IRRIGATION WIRING

- A. WIRING USED FOR CONNECTING THE ELECTRIC CONTROL VALVES TO THE CONTROLLERS SHALL BE TYPE UF, 600 VOLT, SINGLE STRAND, SOLID COPPER WITH PVC INSULATION 4/64" THICK. SIZE SHALL BE 14 GAUGE, RED FOR "HOT" OR LEAD WIRES, AND COMMON WIRE TO BE 14 GAUGE, WHITE IN COLOR.
- B. CONTRACTOR SHALL PERFORM AN OHM TEST ON GROUND TO ASSURE ADEQUATE PROTECTION AGAINST SURGES AND INDIRECT LIGHTNING STRIKES.

2.13 MISCELLANEOUS MATERIALS

- A. DRAINAGE BACKFILL: CLEANED GRAVEL OR CRUSHED STONE, GRADED FROM 1" MAXIMUM TO 3/4" MINIMUM.
- B. METALIZED UNDERGROUND TAPE: THE DETECTABLE, UNDERGROUND UTILITY MARKING TAPE SHALL CONSIST OF A MINIMUM: 5 MIL (0.005") OVERALL THICKNESS; FIVE-PLY COMPOSITION; ULTRA-HIGH MOLECULAR WEIGHT, 100% VIRGIN POLYETHYLENE; ACID, ALKALINE AND CORROSION RESISTANT; WITH NO LESS THAN 150 POUNDS OF TENSILE BREAK STRENGTH PER 6" WIDTH; COLOR-CODE IMPREGNATED WITH COLOR STABLE, LEAD-FREE, ORGANIC PIGMENTS SUITABLE FOR DIRECT BURIAL. TAPES UTILIZING REPROCESSED PLASTICS OR RESINS SHALL NOT BE ACCEPTABLE. THE DETECTABLE, UNDERGROUND UTILITY MARKING TAPE SHALL HAVE A 35 GAUGE (0.0035") SOLID ALUMINUM FOIL, CORE ENCAPSULATED WITHIN A 2.55 MIL (0.00255") POLYETHYLENE BACKING AND A 0.5 MIL (0.0005") PET COVER COATING. THE LAMINATE ON EACH SIDE SHALL CONSIST OF A 0.75 MIL (0.00075") LAYER OF HOT LPD, POLY-FUSING THE "SANDWICH" WITHOUT USE OF ADHESIVES.

2.14 AUTOMATIC CONTROL SYSTEM

1. AN INDEPENDENT STATION CONTROLLER: FURNISH A SOLID STATE CONTROLLER, AS SPECIFIED ON THE PLANS.
- a. EACH STATION SHALL BE CAPABLE OF TIMING FROM ZERO (0) MINUTE TO 99 MINUTES PER STATION IN ONE (1) MINUTE INCREMENTS.
- b. EACH STATION SHALL BE CAPABLE OF OPERATING TWO (2) 7VA ELECTRIC VALVE-IN-HEAD SOLENOIDS.
- c. THE STAND-ALONE CONTROLLER SHALL HAVE TWO (2) POSSIBLE PROGRAMS.
- d. THE STAND-ALONE CONTROLLER SHALL PROVIDE GLOBAL PERCENTAGE INCREASE/DECREASE (WATER BUDGET) FOR ALL STATIONS SIMULTANEOUSLY, FROM TEN (10) TO TWO HUNDRED (200) PERCENT, IN TEN (10) PERCENT INCREMENTS.
- e. ALL STATIONS SHALL BE ABLE TO BE TURNED ON/OFF MANUALLY BUY OPERATING TIMING MECHANISM OR BY MANUAL SWITCH AT STATION OUTPUT.
- f. THE STAND-ALONE CONTROLLER SHALL INCORPORATE AN INTEGRAL MOV SURGE PROTECTION INTO THE TERMINAL BLOCK FOR EACH OF ITS 24 VAC FIELD WIRE OUTPUTS. CONTROLLER POWER INPUT WIRES WILL ALSO INCORPORATE SURGE PROTECTION.
- g. THE CONTROL PANEL SHALL PROVIDE CONTINUOUS DISPLAY TIME. IT SHALL HAVE ALPHANUMERIC DISPLAYS OF DESCRIPTIVE ENGLISH MENUS AND LEGEND IDENTIFIERS WITH CURSOR SELECTION OF FUNCTION AND PRECISION VALUE ADJUSTMENT BY ROTARY DIAL INPUT.
- h. THE STAND-ALONE CONTROLLER SHALL BE UL LISTED AND FCC APPROVED.
- i. THE STAND-ALONE CONTROLLER SHALL HAVE 117 VAC, 60 HZ INPUT, 26.5 VAC, 60 HZ OUTPUT FOR OPERATING 24 VAC SOLENOIDS.
- j. THE STAND-ALONE CONTROLLER CABINET SHALL BE A LOCKABLE AND WEATHER-RESISTANT OUTDOOR CABINET. MOUNT AS NOTED ON PLANS.
- k. THE CONTROLLER SHALL BE EQUIPPED WITH LIGHTENING PROTECTION, BY THE CONTRACTOR, ON BOTH THE PRIMARY (120V) AND EACH SECONDARY (24V) CIRCUIT. THE CONTROLLER CIRCUITS SHALL BE GROUNDED TO A COPPER CLAD GROUNDING ROD LOCATED AT EACH CONTROLLER.
- L. THE CONTROLLER SHALL BE EQUIPPED FOR A WATER CONSERVATION DEVICE, AS SPECIFIED.

PART III: EXECUTION

3.01 INSPECTION

- A. THE CONTRACTOR SHALL EXAMINE THE AREAS AND CONDITIONS UNDER WHICH LANDSCAPE IRRIGATION SYSTEM IS TO BE INSTALLED AND NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF CONDITIONS DETRIMENTAL TO THE PROPER AND TIMELY COMPLETION OF THE WORK. THE CONTRACTOR SHALL PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN A MANNER ACCEPTABLE TO THE LANDSCAPE ARCHITECT.

3.02 PREPARATION

- A. THE CONTRACTOR SHALL PROVIDE SLEEVES TO ACCOMMODATE PIPING UNDER WALKS OR PAVING. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AN INSTALL TO ACCURATE LEVELS PRIOR TO PAVING WORK. CUTTING AND PATCHING OF PAVING AND CONCRETE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL MAINTAIN ALL WARNING SIGNS, SHORING, BARRICADES, FLARES AND RED LANTERNS, AS REQUIRED BY ANY LOCAL CODES, ORDINANCES OR PERMITS.

3.03 TRENCHING AND BACKFILLING

- A. EXCAVATION: THE CONTRACTOR SHALL STAKE OUT THE LOCATION OF EACH RUN OF PIPE, SPRINKLER HEADS, SPRINKLER VALVES AND ISOLATION VALVES PRIOR TO TRENCHING. EXCAVATION SHALL BE OPEN VERTICAL CONSTRUCTION SUFFICIENTLY WIDE TO PROVIDE FREE WORKING SPACE AROUND THE WORK INSTALLED AND TO PROVIDE AMPLE SPACE OR BACKFILLING AND TAMPING. TRENCHES FOR PIPE SHALL BE CUT TO REQUIRED GRADE LINES, AND COMPACTED TO PROVIDE ACCURATE GRADE AND UNIFORM BEARING FOR THE FULL LENGTH OF THE LINE. THE BOTTOM OF THE TRENCHES SHALL BE FREE OF ROCK OR OTHER SHARP EDGED OBJECTS. MINIMUM COVER SHALL BE AS FOLLOWS:

PIPE AND WIRE DEPTH

PRESSURE MAINLINE	18" AT TOP OF PIPE FROM FINISH GRADE
LATERAL PIPING (ROTOR)	12" AT TOP OF PIPE FROM FINISH GRADE
LATERAL PIPING (POP-UP)	12" AT TOP OF PIPE FROM FINISH GRADE
CONTROL WIRING	SIDE OF MAIN LINE

B. MINIMUM CLEARANCES: ALL PIPELINES SHALL HAVE A MINIMUM CLEARANCE OF SIX INCHES FROM EACH OTHER AND FROM LINES OF OTHER CRAFTS. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER. NO LATERAL LINE SHALL BE INSTALLED IN THE MAIN-LINE TRENCH

3.04 INSTALLATION OF PIPING

- A. PVC PIPE AND JOINTS: THE CONTRACTOR SHALL NOT INSTALL SOLVENT WILD PIPE WHEN AIR TEMPERATURE IS BELOW 40º F. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
1. ONLY THE SOLVENT RECOMMENDED BY THE PIPE MANUFACTURER SHALL BE USED. ALL PVC PIPE AND FITTINGS SHALL BE INSTALLED AS OUTLINED AND INSTRUCTED BY THE PIPE MANUFACTURER, AND IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE PIPE MANUFACTURER FOR ANY FIELD ASSISTANCE THAT MAY BE NECESSARY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION.

3.05 BACKFILLING PROCEDURES

- INITIAL BACKFILL ON PVC LINES SHALL BE PULVERIZED NATIVE SOIL, FREE OF FOREIGN MATTER. WITHIN RADIUS OF 4" OF THE PIPE SHALL BE CLEAN SOIL OR SAND. PLANT LOCATIONS SHALL TAKE PRECEDENCE OVER SPRINKLER AND PIPE LOCATIONS. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF TREES AND SHRUBS WITH THE ROUTING OF LINES AND FINAL HEAD LOCATIONS.

- A. BACKFILL AND COMPACTION: THE CONTRACTOR SHALL LEAVE TRENCHES SLIGHTLY MOUNDED TO ALLOW FOR SETTLEMENT AFTER THE BACKFILLING IS COMPLETED. THE CONTRACTOR SHALL CLEAN THE SITE OF THE WORK CONTINUOUSLY OF EXCESS WASTE MATERIALS AS THE BACKFILLING PROGRESSES, AND LEAVE IN A NEAT CONDITION. NO TRENCHES SHALL BE LEFT OPEN FOR A PERIOD OF MORE THAN 48 HOURS. PROTECT OPEN TRENCHES AS REQUIRED.

1. THE CONTRACTOR SHALL CAREFULLY BACKFILL EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTH, LOAM, SAND, AND OTHER APPROVED MATERIALS, FREE OF ROCK AND DEBRIS OVER 1" IN SIZE. BACKFILL SHALL BE COMPACTED TO ORIGINAL DENSITY OF SURROUNDING SOIL WITHOUT DIPS, SUNKEN AREAS, OR IRREGULARITIES.
2. THE CONTRACTOR SHALL CONFORM TO DOT REQUIREMENTS FOR METHODS AND REQUIRED COMPACTION PERCENTAGES, FOR ROADS AND PAVING.
3. THE CONTRACTOR SHALL HAND PLACE THE FIRST 6" OF BACKFILL (OR TO TOP OF PIPE) AND HAVE IT WALKED ON SO AS TO SECURE THE POSITION OF THE PIPE AND WIRE.
4. NO WHEEL ROLLING WILL BE ALLOWED. THE CONTRACTOR SHALL REMOVE ROCK OR DEBRIS EXTRACTED FROM BACKFILL MATERIALS AND DISPOSE OF OFFSITE. THE CONTRACTOR SHALL FILL ANY VOIDS LEFT IN BACKFILL WITH APPROVED BACKFILL MATERIALS.
- B. EXISTING LAWN: WHERE TRENCHING IS REQUIRED ACROSS EXISTING LAWN, UNIFORMLY CUT STRIPS OF SOD 6" WIDER THAN TRENCH. THE CONTRACTOR SHALL REMOVE SOD IN ROLLS OF SUITABLE SIZE FOR HANDLING AND KEEP MOISTENED UNTIL REPLANTED. THE CONTRACTOR SHALL REPLANT SOD WITHIN 48 HOURS AFTER REMOVAL. ROLL AND WATER GENEROUSLY. THE CONTRACTOR SHALL RESOD ANY AREAS NOT IN HEALTHY CONDITION EQUAL TO ADJOINING LAWNS 10 DAYS AFTER REPLANTING.
- C. SEEDD AREA: TRENCHING WILL BE REQUIRED ACROSS EXISTING SEEDD AREAS, PRIMARILY ROADWAY EDGING. THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF SEEDING, SECTION 02930 FOR THE RESEEDING OF THE DISTURBED TRENCH AREA.
- D. PAVEMENTS: JACK AND BORE OR DIRECTIONAL BORE PIPING UNDER PAVING MATERIALS AS PER LOCAL REGULATORY CODES. NO CUTTING AND PATCHING OF PAVEMENT WILL BE PERMITTED.

3.06 VALVES

- A. ISOLATION VALVES: SHALL BE SIZED CORRESPONDING TO ADJACENT PIPE SIZE. SPECIFIED VALVE BOXES SHALL BE INSTALLED WITH FINISH GRADE IN SUCH A MANNER THAT SURFACE FORCES APPLIED TO THEIR EXPOSED AREA WILL NOT BE TRANSMITTED TO THE PIPING IN WHICH THE VALVE IS INSTALLED NOR ANY OTHER PIPING, WIRING OR OTHER LINES IN THE VICINITY OF SAID VALVES.
- B. GATE VALVES: INSTALL WHERE SHOWN, IN VALVE BOXES.
- C. ELECTRIC CONTROL VALVES: SHALL BE INSTALLED IN SPECIFIED VALVE BOXES. THE VALVE SHALL HAVE 6" OF 3/4" PEA GRAVEL INSTALLED BELOW THE BOTTOM OF THE VALVE. IF THE VALVE BOX DOES NOT EXTEND TO THE BASE OF THE VALVE, A VALVE BOX EXTENSION SHALL BE INSTALLED. ELECTRIC CONTROL VALVES SHALL BE INSTALLED WHERE SHOWN AND GROUPED TOGETHER WHERE PRACTICAL. THE CONTRACTOR SHALL PLACE NO CLOSER THAN 24" TO WALK EDGES, BIKEWAY EDGES, BUILDINGS AND WALLS. THE CONTRACTOR SHALL ADJUST THE VALVE TO PROVIDE FLOW RATE OR RATED OPERATING PRESSURE REQUIRED FOR EACH SPRINKLER CIRCUIT.

3.07 CONDUIT AND SLEEVES

- A. CONDUIT AND SLEEVES FOR CONTROL WIRING AND MAIN/LATERAL PIPE: THE CONTRACTOR SHALL PROVIDE AND INSTALL WHERE NECESSARY. CONTRACTOR SHALL COORDINATE LOCATIONS OF PREVIOUSLY INSTALLED SLEEVING WITH THE GENERAL SITE CONTRACTOR.

1. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVES WITH WORK OF OTHER DISCIPLINES.

3.08 CONTROLS

- A. THE CONTRACTOR SHALL CONNECT ELECTRIC CONTROL VALVES TO CONTROLLERS IN A CLOCKWISE SEQUENCE TO CORRESPOND WITH STATION SETTINGS BEGINNING WITH STATIONS 1, 2, 3, ETC. AUTOMATIC CONTROLLERS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AS NOTED ON THE DRAWINGS. ALL ZONES WILL BE LABELED ON THE CONTROLLER.
- B. CONTROLLERS SHALL BE EQUIPPED WITH LIGHTNING PROTECTION AND GROUNDED TO A STANDARD 5/8" COPPER CLAD STEEL GROUND ROD DRIVEN A MINIMUM OF 8' INTO THE GROUND AND CLAMPED.
- C. THE ELECTRICAL SERVICE TO THE CONTROLLERS SHALL BE PERFORMED BY AN ELECTRICAL SUBCONTRACTOR IN COMPLIANCE WITH NEC REQUIREMENTS.
- 3.09 CONTROL WIRE
- A. CONTROL WIRING BETWEEN THE CONTROLLER AND ELECTRIC VALVES SHALL BE BURIED IN MAIN LINE TRENCHES OR IN SERPENTINE TRENCHES. ELECTRICAL CONNECTION AT VALVE WILL ALLOW FOR PISTAL SO SOLENOID CAN BE REMOVED FROM VALVE WITH SUFFICIENT SLACK TO ALLOW ENDS TO BE PULLED 12" ABOVE GROUND FOR EXAMINATION AND CLEANING.
- B. AN EXPANSION LOOP SHALL BE PROVIDED AT EVERY VALVE AT 100' O.C. EXPANSION LOOP SHALL BE FORMED BY WRAPPING WIRE AT LEAST EIGHT TIMES AROUND A 3/4" PIPE AND WITHDRAWING PIPE.
- C. THE WIRE SHALL BE BUNDLED AND TAPED EVERY TEN FEET. THE WIRE SHALL BE LAID IN THE TRENCH PRIOR TO INSTALLING THE PIPE BEING CAREFUL TO INSTALL WIRE BENEATH AND 6" TO THE SIDE OF THE MAIN PIPE LINE.
- D. ELECTRICAL CONNECTIONS TO ELECTRIC CONTROL VALVES SHALL BE MADE WITH RAINBIRD PEN-TITE OR TECHDEL GT-3 GEL- TITE CONNECTORS OR EQUAL.
- a. POWER CONNECTIONS: ELECTRICAL CONNECTIONS TO POWER AND SIGNAL WIRES SHALL BE MADE USING 3M 82-A2 POWER CABLE SPLICE KITS.

3.10 SPRINKLER HEADS

- A. GENERAL PROVISIONS:
1. SPRINKLER HEADS SHALL BE INSTALLED AS DESIGNATED ON THE SHOP DRAWINGS. HEADS SHALL BE INSTALLED ON FLEXIBLE PVC. TOP TO BE FLUSH WITH FINISH GRADE OR TOP OF CURB.
2. SPACING OF HEADS SHALL NOT EXCEED THE MAXIMUM INDICATED ON THE SHOP DRAWINGS (UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT). IN NO CASE SHALL THE SPACING EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.
- B. HEAD TYPES:
1. POP-UP. ROTARY SPRINKLER HEADS: SHALL BE INSTALLED ON FLEX JOINT AND BE SET WITH TOP OF HEAD FLUSH WITH FINISH GRADE. HEADS INSTALLED AT CURB SHALL HAVE 6" TO 10" BETWEEN PERIMETER OF HEAD AND CONCRETE. HEADS PLACED AT EDGE OF PAVEMENT HAVING NO CURB SHALL BE INSTALLED 24" FROM EDGE OF PAVEMENT.
2. SPRAY POP-UP SPRINKLER HEADS: SHALL BE INSTALLED ON FLEXIBLE PVC AND BE SET WITH TOP OF HEAD FLUSH WITH FINISHED GRADE. SPRINKLER HEADS PLACED ADJACENT TO CURBS WILL BE INSTALLED 9" FROM CONCRETE. SPRINKLER HEADS PLACED ADJACENT TO PAVEMENT HAVING NO CURB SHALL BE INSTALLED 24" FROM THE EDGE OF PAVEMENT.

3.11 COMPLETION

- A. FLUSHING: BEFORE SPRINKLER HEADS ARE SET, THE CONTRACTOR SHALL FLUSH THE LINES THOROUGHLY TO MAKE SURE THERE IS NO FOREIGN MATTER IN THE LINES.
1. THE CONTRACTOR SHALL FLUSH THE MAIN LINES FROM DEAD END FITTINGS FOR A MINIMUM OF FIVE MINUTES UNDER A FULL HEAD OF PRESSURE.
- B. TESTING: THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING.

1. PRIOR TO BACKFILLING OF MAIN LINE FITTINGS, CONTRACTOR SHALL FILL THE MAIN LINE PIPING WITH WATER, IN THE PRESENCE OF THE OWNER/LANDSCAPE ARCHITECT, TAKING CARE TO PURGE THE AIR FROM IT BY OPERATING ALL THE SPRINKLER CONTROL VALVES ONE OR MORE TIMES AND/OR SUCH OTHER MEANS AS MAY BE NECESSARY. A SMALL, HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE MAIN LINE AND SET SO AS TO MAINTAIN 100 PSI IN THE MAIN LINE SYSTEM FOR TWO (2) HOURS WITHOUT INTERRUPTION. WHEN THIS HAS BEEN ACCOMPLISHED AND WHILE THE PRESSURE IN THE SYSTEM IS STILL 100 PSI, LEAKAGE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH AWWA STANDARD C-600. PRESSURE READINGS SHALL BE NOTED AND MAKE UP WATER USAGE SHALL BE RECORDED. SHOULD THE RATE OF MAKE UP WATER USAGE INDICATE SIGNIFICANT LEAKAGE, THE SOURCE OF SUCH LEAKAGE SHALL BE FOUND AND CORRECTED AND THE SYSTEM THEN RETESTED UNTIL THE OWNER/LANDSCAPE ARCHITECT IS SATISFIED THAT THE SYSTEM IS REASONABLY SOUND. LATERAL LINE TESTING SHALL BE CONDUCTED DURING THE OPERATING TESTING OF THE SYSTEM BY CHECKING VISUALLY THE GROUND SURFACE UNTIL NO LEAKS IN THIS PORTION OF THE SYSTEM ARE EVIDENT. LEAKS SHALL BE REPAIRED OR PAID FOR BY THE CONTRACTOR AT ANY TIME THEY APPEAR DURING THE WARRANTY PERIOD.

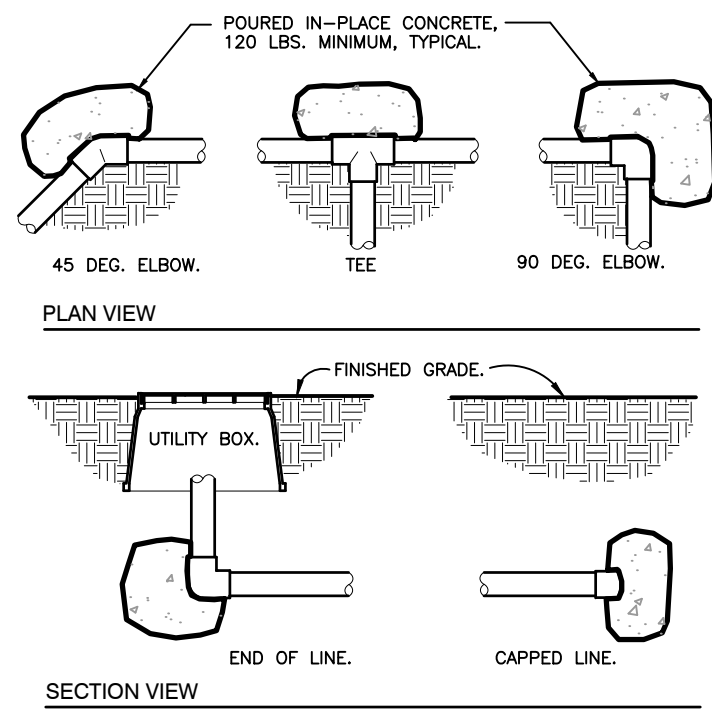
2. ADJUSTMENT AND COVERAGE OF SYSTEM: COORDINATE PRESSURE TESTING WITH ADJUSTMENTS AND COVERAGE TEST OF SYSTEM SO BOTH MAY OCCUR AT THE SAME TIME. THE CONTRACTOR SHALL BALANCE AND ADJUST THE VARIOUS COMPONENTS OF THE SYSTEM SO THAT THE OVERALL OPERATION OF THE SYSTEM IS MOST EFFICIENT. THIS INCLUDES A SYNCHRONIZATION OF THE CONTROLLERS, ADJUSTMENTS TO PRESSURE REGULATORS, PRESSURE RELIEF VALVES, PART CIRCLE SPRINKLER HEADS, AND INDIVIDUAL STATION ADJUSTMENTS ON THE CONTROLLERS.

3.12 WARRANTY

- A. THE CONTRACTOR SHALL FULLY WARRANT THE LANDSCAPE IRRIGATION SYSTEM FOR A PERIOD OF ONE (1) YEAR AFTER THE WRITTEN FINAL ACCEPTANCE AND WILL RECEIVE A WRITTEN CONFIRMATION FROM THE LANDSCAPE ARCHITECT THAT THE WARRANTY PERIOD IS IN EFFECT.
- B. DURING THE WARRANTY PERIOD, THE CONTRACTOR WILL ENFORCE ALL MANUFACTURER'S AND SUPPLIER'S WARRANTIES AS IF MADE BY THE CONTRACTOR HIMSELF. ANY MALFUNCTIONS, DEFICIENCIES, BREAKS, DAMAGES, DISREPAIR, OR OTHER DISORDER DUE TO MATERIALS, WORKMANSHIP, OR INSTALLATION BY THE CONTRACTOR AND HIS SUPPLIERS SHALL BE IMMEDIATELY AND PROPERLY CORRECTED TO THE PROPER ORDER AS DIRECTED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
- C. ANY DAMAGES CAUSED BY SYSTEM MALFUNCTION SHALL

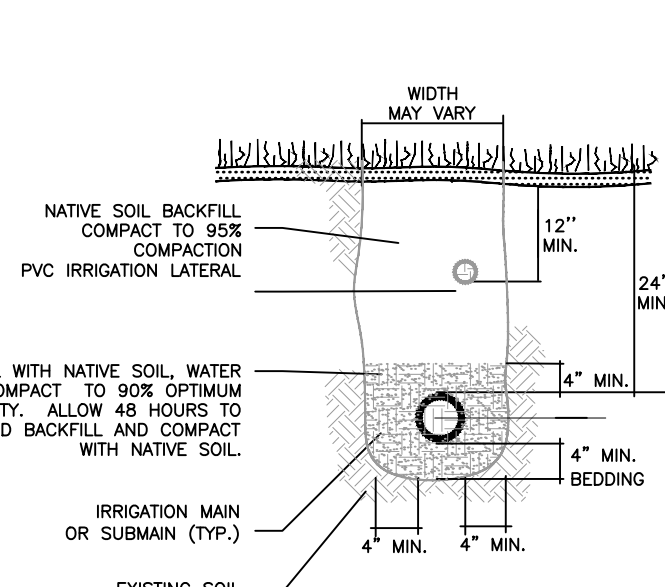


Plotted By: Liberman, Amy Sheet Set: DORAL OCEAN BANK Layout: IRR-451 IRRIGATION DETAILS May 03, 2024 11:20:06am K:\vmb-civil\43771001-doral ocean bank\landscape\CADD\plantnotes\LANDSCAPE SHEETS\IRR450-IRRIGATION NOTES.dwg  
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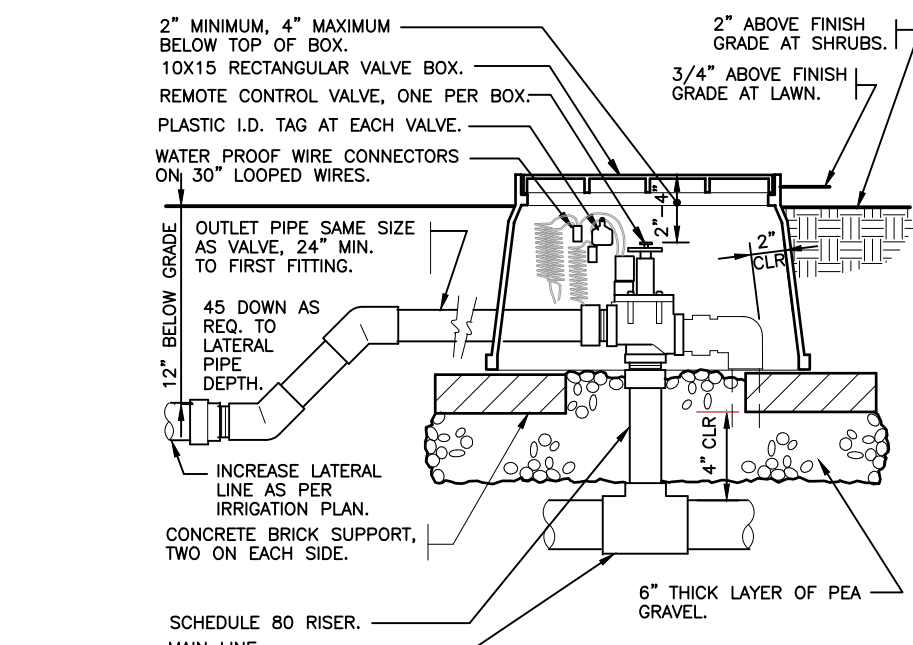


1 THRUST BLOCKING  
3/4" = 1'-0"

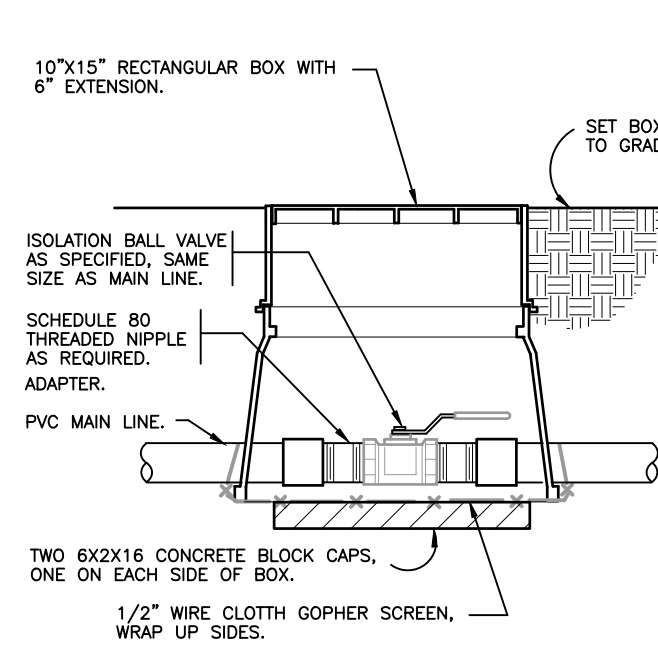
2 TRENCHING DETAIL  
NOT TO SCALE



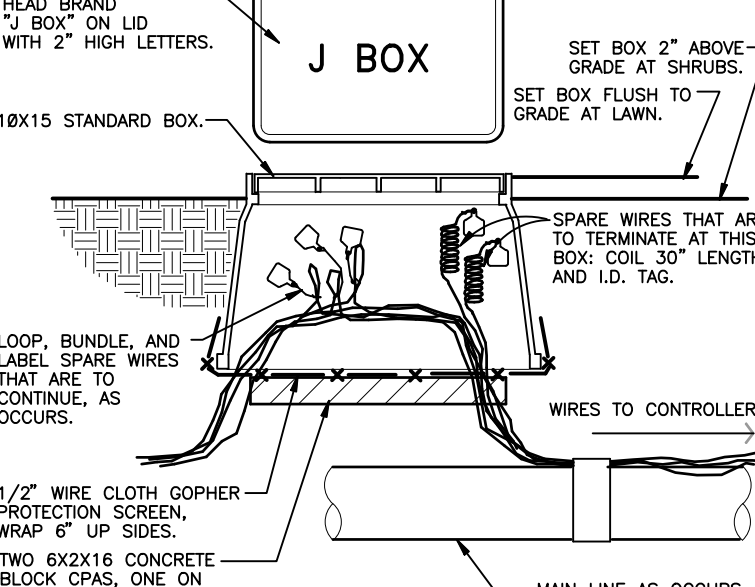
3 ELECTRIC REMOTE CONTROL VALVE  
1 1/2" = 1'-0"



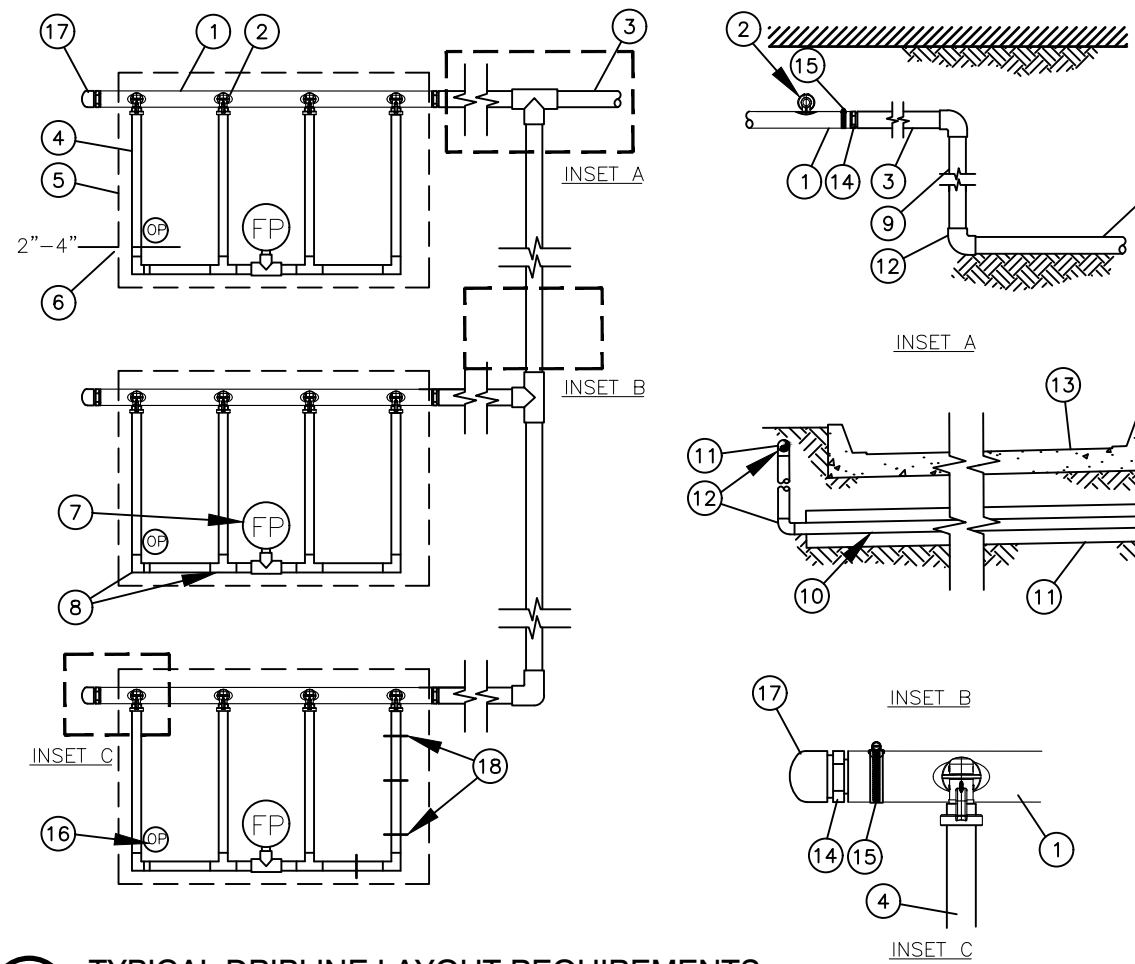
4 BRASS BALL ISOLATION VALVE  
1 1/2" = 1'-0"



5 WIRE BUNDLE JUNCTION BOX  
1 1/2" = 1'-0"



6 BUBBLER ON FLEX HOSE RISER  
3" = 1'-0"

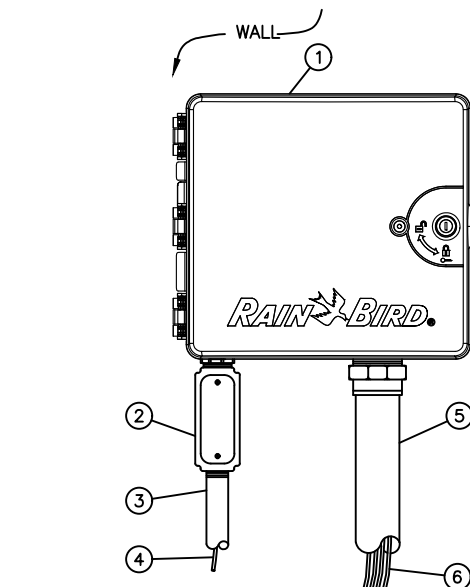


12 TYPICAL DRIPLINE LAYOUT REQUIREMENTS  
NOT TO SCALE

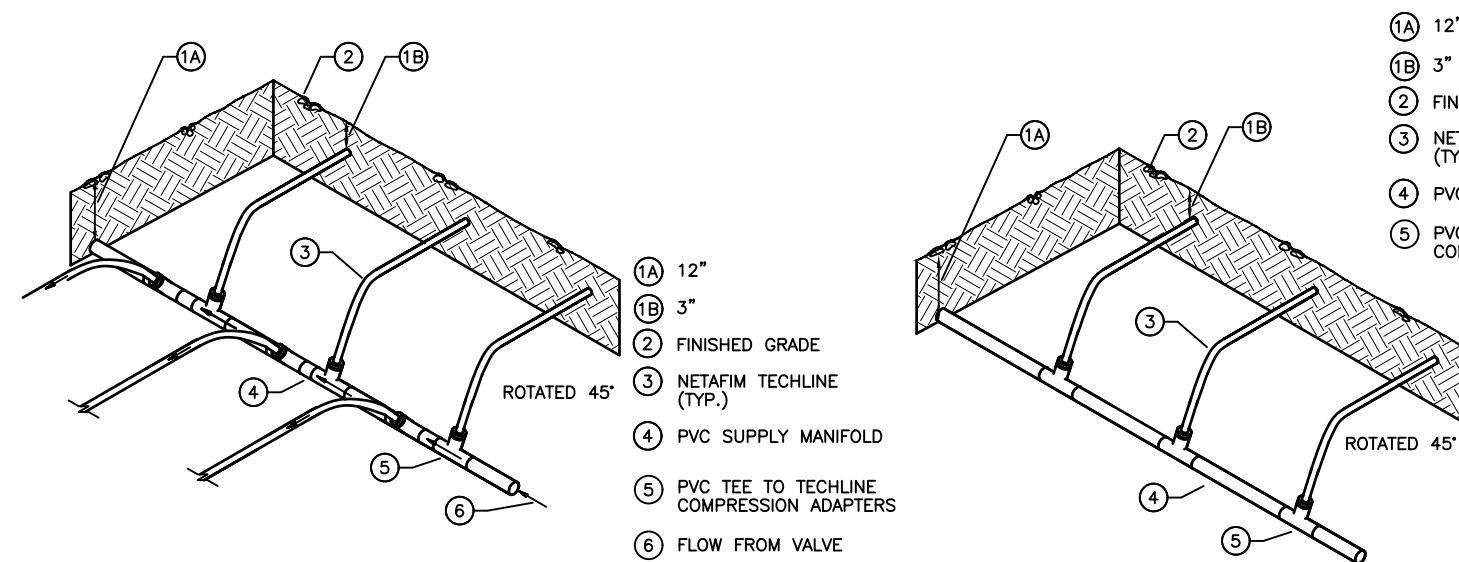
NOTES:

- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
- LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
- PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
- AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

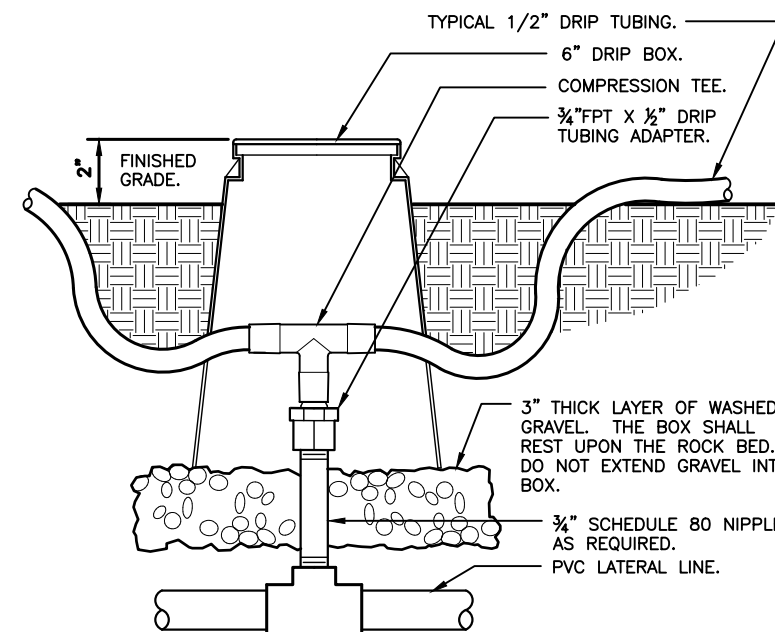
Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)
15	0.6	0.9	0.6	0.9	0.6	0.9
20	273	155	314	250	424	322
30	318	169	353	284	508	368
40	360	230	413	350	586	414
50	395	255	465	402	652	474
60	417	285	528	420	720	488
80	460	290	596	455	780	514



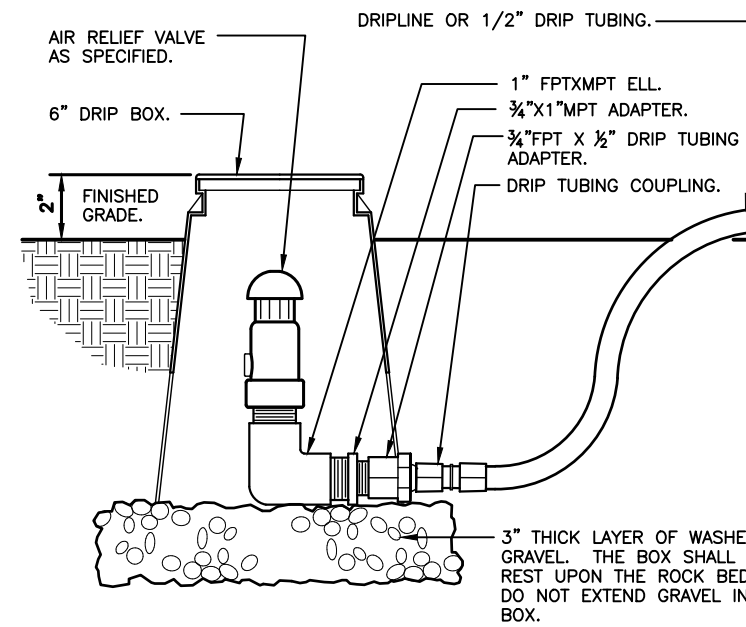
10 ESP-LXMEF CONTROLLER IN PLASTIC CABINET  
NOT TO SCALE



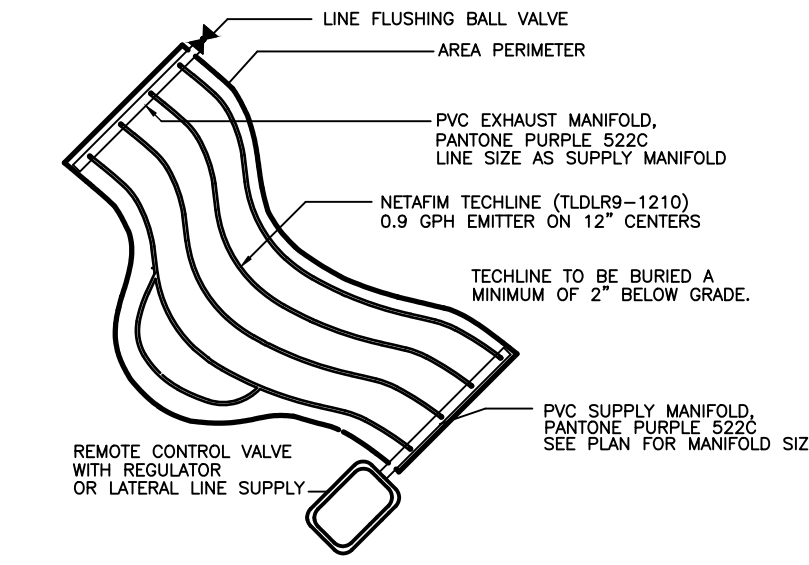
16 LATERAL TO DRIP FEED DETAILS  
NOT TO SCALE



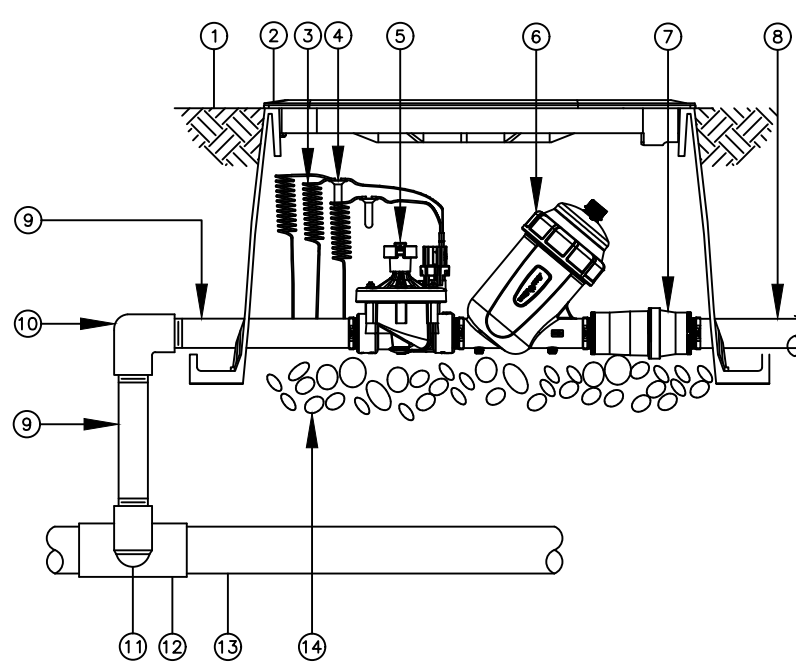
17 ZONE CONTROL  
3" = 1'-0"



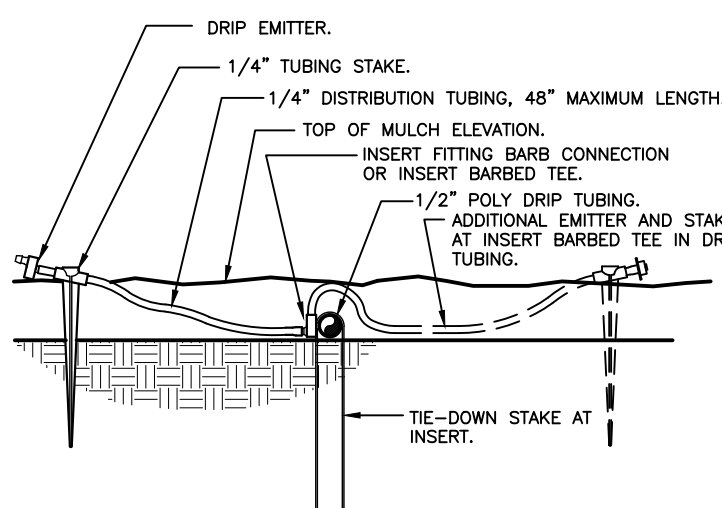
13 DRIP AIR RELIEF VALVE IN BOX  
3" = 1'-0"



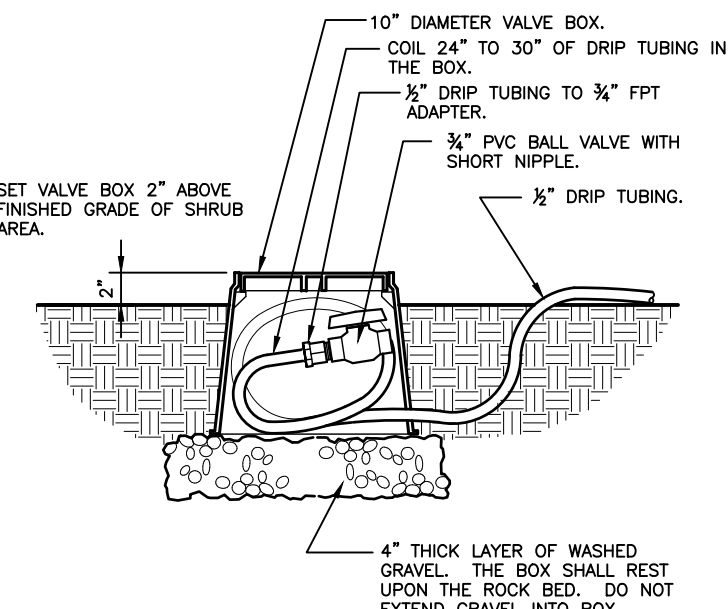
14 IRREGULAR AREAS  
NOT TO SCALE



15 DRIP ZONE CONTROL VALVE KIT IN JUMBO VALVE BOX



18 DRIP EMITTER AT 1/4" TUBING  
3" = 1'-0"



19 DRIP FLUSH VALVE  
1 1/2" = 1'-0"

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NO.	REVISIONS	DATE	BY

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2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145  
PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM REGISTRY NO. 696

LANDSCAPE ARCHITECT  
GREGORY ALEXANDER GONZALEZ  
No LA6667525  
05/03/2024  
STATE OF FLORIDA

KHA PROJECT 143771001  
DATE MARCH 2004  
SCALE AS SHOWN  
DESIGNED BY AML  
DRAWN BY AML  
CHECKED BY CG  
DATE:

**IRRIGATION DETAILS**

DORAL OCEAN BANK  
PREPARED FOR  
8800 DORAL, LLC

CITY OF DORAL

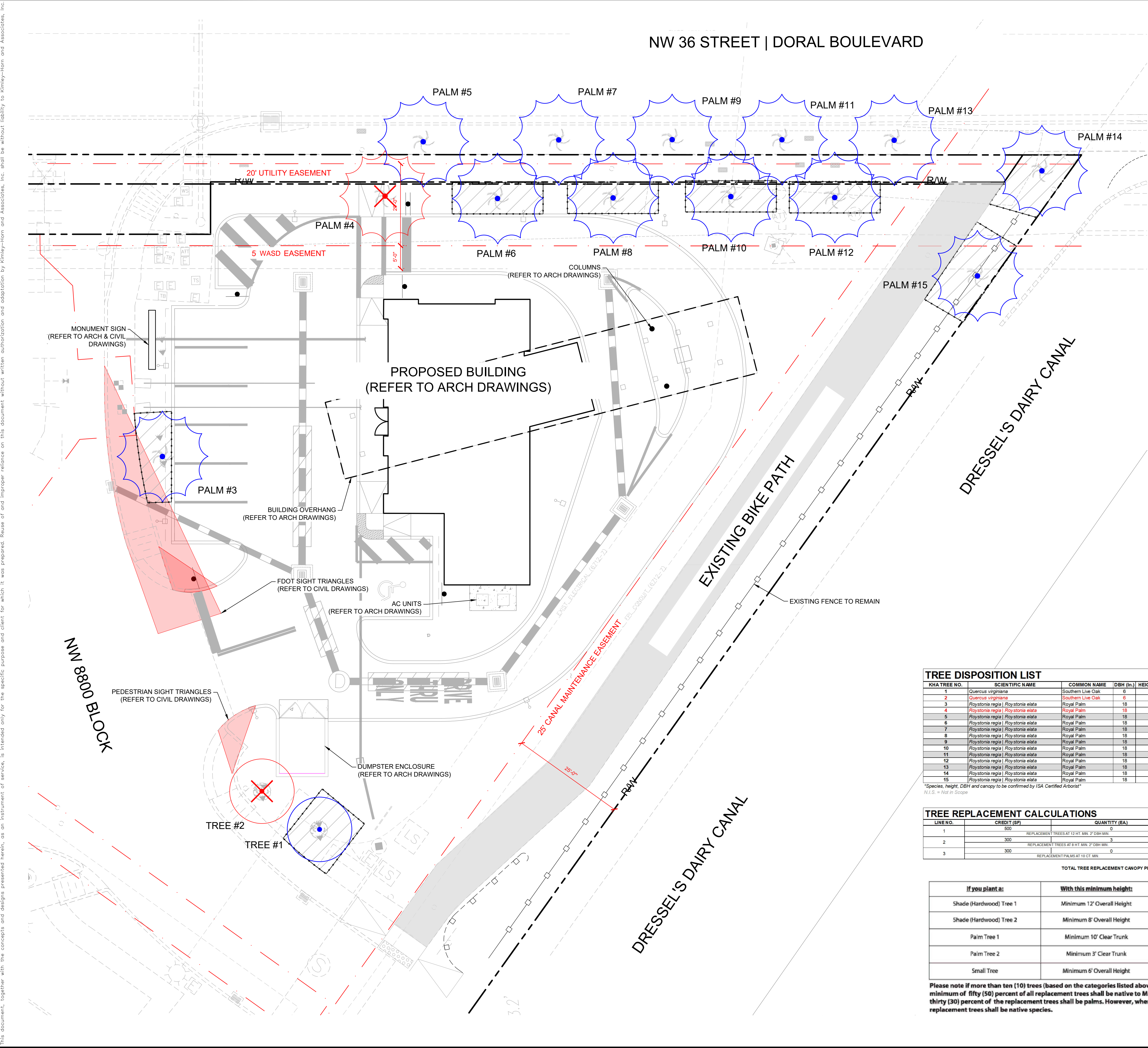
SHEET NUMBER  
IRR-451







Plotted By: Liberman, Amy Sheet Set: DORAL OCEAN BANK Layout: L-100 TREE DISPOSITION PLAN May 03, 2024 11:18:58am K:\ymlb-civil\143771001-doral ocean bank\landscape\CADD plansheets\LANDSCAPE SHEETS\L100 TREE DISP PLAN.dwg  
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GRAPHIC SCALE IN FEET

0 5 10 20

1"=10'

NORTH

LEGEND:

--- R/W --- P --- RIGHT OF WAY / PROPERTY LINE

TREE DISPOSITION GRAPHIC LEGEND

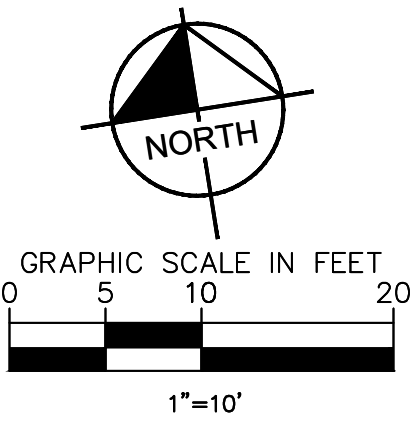
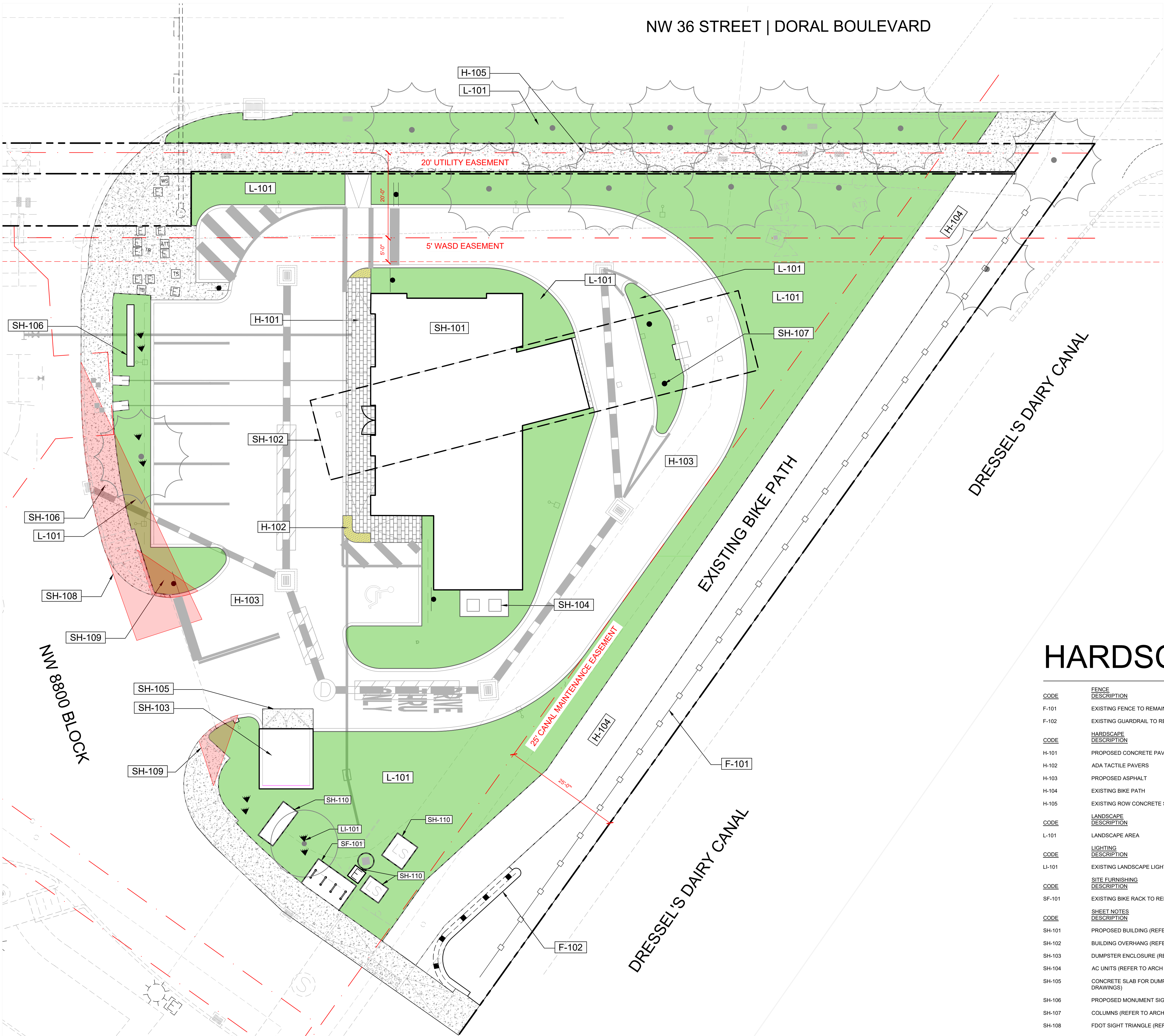
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
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	EXISTING TREE NOT IN SCOPE		PALM TO BE REMOVED
	TREE TO REMAIN		PALM TO REMAIN
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Plotted By: liberman, Amy Sheet Set: DORAL OCEAN BANK Layout: L-200 HARDSCAPE PLAN May 03, 2024 11:46:24am K:\mkb-civil\143771001\doral ocean bank\landscape\CADD plansheets\LANDSCAPE SHEETS\L200 HARDSCAPE PLAN.dwg  
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LEGEND:  
--RW-- --R-- RIGHT OF WAY/ PROPERTY LINE

- GRAPHIC LEGEND**
- LANDSCAPE AREAS
  - ROW CONCRETE SIDEWALK
  - PROPOSED CONCRETE PAVERS
  - ADA TACTILE PAVERS

# HARDSCAPE SCHEDULE

CODE	FENCE DESCRIPTION
F-101	EXISTING FENCE TO REMAIN
F-102	EXISTING GUARDRAIL TO REMAIN
CODE	HARDSCAPE DESCRIPTION
H-101	PROPOSED CONCRETE PAVERS
H-102	ADA TACTILE PAVERS
H-103	PROPOSED ASPHALT
H-104	EXISTING BIKE PATH
H-105	EXISTING ROW CONCRETE SIDEWALK
CODE	LANDSCAPE DESCRIPTION
L-101	LANDSCAPE AREA
CODE	LIGHTING DESCRIPTION
LI-101	EXISTING LANDSCAPE LIGHTING (REFER TO ARCH DRAWINGS)
CODE	SITE FURNISHING DESCRIPTION
SF-101	EXISTING BIKE RACK TO REMAIN
CODE	SHEET NOTES DESCRIPTION
SH-101	PROPOSED BUILDING (REFER TO ARCH DRAWINGS)
SH-102	BUILDING OVERHANG (REFER TO ARCH DRAWINGS)
SH-103	DUMPSTER ENCLOSURE (REFER TO ARCH DRAWINGS)
SH-104	AC UNITS (REFER TO ARCH DRAWINGS)
SH-105	CONCRETE SLAB FOR DUMPSTER ENCLOSURE (REFER TO CIVIL AND ARCH DRAWINGS)
SH-106	PROPOSED MONUMENT SIGN (REFER TO CIVIL DRAWINGS)
SH-107	COLUMNS (REFER TO ARCH DRAWINGS)
SH-108	FDOT SIGHT TRIANGLE (REFER TO CIVIL DRAWINGS)
SH-109	PEDESTRIAN SIGHT TRIANGLES (REFER TO CIVIL DRAWINGS)
SH-110	EXISTING UTILITIES (REFER TO CIVIL DRAWINGS)

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No.	REVISIONS	DATE	BY

**Kimley»Horn**  
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2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145  
PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM    REGISTRY NO. 696

LANDSCAPE ARCHITECT  
GREGORY ALEXANDER GONZALEZ  
No LA6667525  
05/03/2024  
STATE OF FLORIDA

KHA PROJECT  
143771001

DATE  
MARCH 2004

SCALE AS SHOWN

DESIGNED BY AML

DRAWN BY AML

CHECKED BY CG

DATE:

DORAL OCEAN BANK  
PREPARED FOR  
8800 DORAL, LLC

CITY OF DORAL

FL

HARDSCAPE PLAN

SHEET NUMBER  
L-200

**Sunshine811**  
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!



Plotted By: Liberman, Amy Sheet Set: DORAL OCEAN BANK Layout: L-300 LANDSCAPE PLAN May 03, 2024 11:32:13am K:\vmb-civil\143771001-doral ocean bank\landscape\CADD\plan sheets\LANDSCAPE SHEETS\L300 LANDSCAPE PLAN.dwg  
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NW 36 STREET | DORAL BOULEVARD

NW 8800 BLOCK

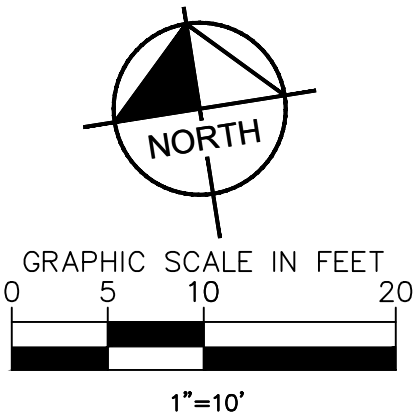
DRESSSEL'S DAIRY CANAL

DRESSSEL'S DAIRY CANAL

CITY OF DORAL LANDSCAPE LEGEND

Zoning District:	DMU	Net Lot Area:	0.52	Acres	or	22,803	SF
<b>OPEN SPACE</b>							
A. Square feet of open space required, as indicated on site plan:							
Net Lot Area =		22,803	x	10%		2,280	SF
B. Square feet of parking lot open space required by Chp.71, as indicated on site plan:							
The number of parking spaces =		7	x	10 SF per parking space =		70	SF
C. Total SF of landscaped open space required = A + B						2,350	SF
<b>LAWN AREA CALCULATION</b>							
A. Total square feet of landscape open space required by =						2,280	SF
B. Maximum lawn area permitted =		60.0%	x	required landscape open space =		1,368	SF
Notes: (1) Per Sec. 71-71. (2) Very dry tolerant grasses and low growing native plants, including grasses and forbs, as referenced in the Landscape Manual, may be used as groundcover beyond the maximum permitted grass area specified.							
<b>TREES</b>							
A. The number of site trees required per net lot area =		28	site trees per net lot area				
less the existing number of trees that meet minimum requirements		13	existing trees				
required trees x net lot acreage =		15	trees			15	trees
B. 30% palm trees allowed (two palms = one tree) =		14	"trees"			3	"trees"
C. Percentage of native trees required = the number of trees provided x 50% =		8	trees			13	trees
D. Percentage of low maintenance and drought tolerant trees = provided trees x 50% =		8	trees			13	trees
E. Street trees along 36th Street (max. average spacing of 35' O.C.)		6	trees			6	trees
193 linear feet along street / 35 =							
Total number of trees provided: required site trees + street trees =		21	trees			21	trees
<b>SHRUBS</b>							
A. The total number of trees required x 10 = the number of shrubs required		210	shrubs			232	shrubs
B. The number of shrubs required x 50% = the number of native shrubs required		105	shrubs			105	shrubs
C. % Drought tolerant and low maintenance required = Number of shrubs provided x 50% =		116	shrubs			116	shrubs

\*Existing palm trees to remain and will count towards required street trees



LEGEND:  
--RW-- --P-- RIGHT OF WAY/ PROPERTY LINE

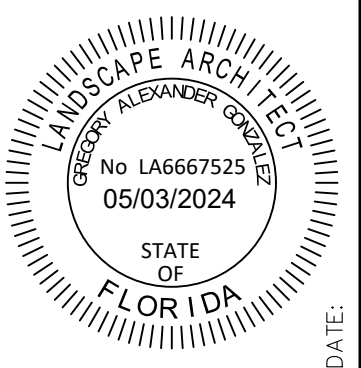
CONCEPT PLANT SCHEDULE

	<b>LARGE CANOPY TREES TYPE I</b> 10' HT MIN., 2.5" CAL MIN., 6' FT SPRD MIN. BURSERA SIMARUBA / GUMBO LIMBO CONOCARPUS ERECTUS / BUTTOWOOD LYSLIOMA LATISILIQUA / WILD TAMARIND QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	4
	<b>SMALL CANOPY TREES TYPE I</b> 8' HT MIN., 1.5" CAL MIN., 3' SPRD MIN. CHRYSOPHYLLUM OLIVIFORME / SATINLEAF COCOLOBIA DIVERSIFOLIA / PIGEON PLUM CONOCARPUS ERECTUS F. SERICEUS / SILVER BUTTOWOOD MYRCIANTHES FRAGRANS / SIMPSON'S STOPPER	9
	<b>LARGE PALMS TYPE I</b> 20' OVH MIN SABAL PALMETTO / CABBAGE PALMETTO	2
	<b>SMALL PALMS TYPE I</b> 10' OVH MIN. OR 3" CAL. MIN. PTYCHOSPERMA ELEGANS / ALEXANDER PALM VEITCHIA MONTGOMERYANA / MONTGOMERY PALM	4
	<b>HEDGE &amp; BUFFER SHRUBS</b> 36" HT MIN., 36" OC MIN. EUGENIA FOETIDA / SPANISH STOPPER FICUS MICROCARPA 'GREEN ISLAND' / GREEN ISLAND INDIAN LAUREL FIG MURRAYA PANICULATA / ORANGE JESSAMINE	150
	<b>SHRUBS</b> 24" HT MIN., 36" OC MIN. CHRYSOBALANUS ICACO 'GREEN TIP' / GREEN TIP COCO PLUM CHRYSOBALANUS ICACO 'RED TIP' / RED TIP COCO PLUM PSYCHOTRIA NERVOSA / WILD COFFEE	37
	<b>ACCENT SHRUBS</b> 36" HT MIN., 24" SPRD MIN. SERENOA REPENS 'CINEREA' / SILVER SAW PALMETTO ZAMIA MARITIMA / CARDBOARD PLANT	40
	<b>EXISTING VEGETATION</b> EXISTING VEGETATION TO REMAIN	3,144
	<b>MASS SHRUBS</b> 24" HT MIN., 24" OC. JASMINUM NODIFLORUM / WAX JASMINE MONSTERA DELICIOSA / SPLIT-LEAF PHILODENDRON ZAMIA PUMILA / COONTIE CYCAD	3,589
	<b>SPREADING GROUNDCOVERS</b> 18" HT MIN., 18" OC. MICROSORUM SCOLOPENDRIA / WART FERN MIMOSA STIGMOLLOSA / SUNSHINE MIMOSA PHYLLODENDRON / LIPPIA	2,703
	TREE TO REMAIN	
	PALM TO REMAIN	

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED  
BY: GREGORY A. GONZALEZ, P.L.A.  
L.A. 6667525, ON DATE ADJACENT TO SEAL.  
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ISSUED BY THE STATE OF FLORIDA, REGISTRY NO. L.A. 6667525, ON THE DATE ADJACENT TO THE SEAL.

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
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2 ALHAMBRA PLAZA, SUITE 500, CORAL GABLES, FL 33145  
PHONE: 305-673-2025  
WWW.KIMLEY-HORN.COM REGISTRY NO. 696



KHA PROJECT	143771001	DATE	MARCH 2004	SCALE	AS SHOWN	DESIGNED BY	AML	DRAWN BY	AML	CHECKED BY	CG	DATE:
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LANDSCAPE PLAN

**DORAL OCEAN BANK**  
PREPARED FOR  
**8800 DORAL, LLC**  
CITY OF DORAL  
SHEET NUMBER  
**L-300**

**Sunshine811**  
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

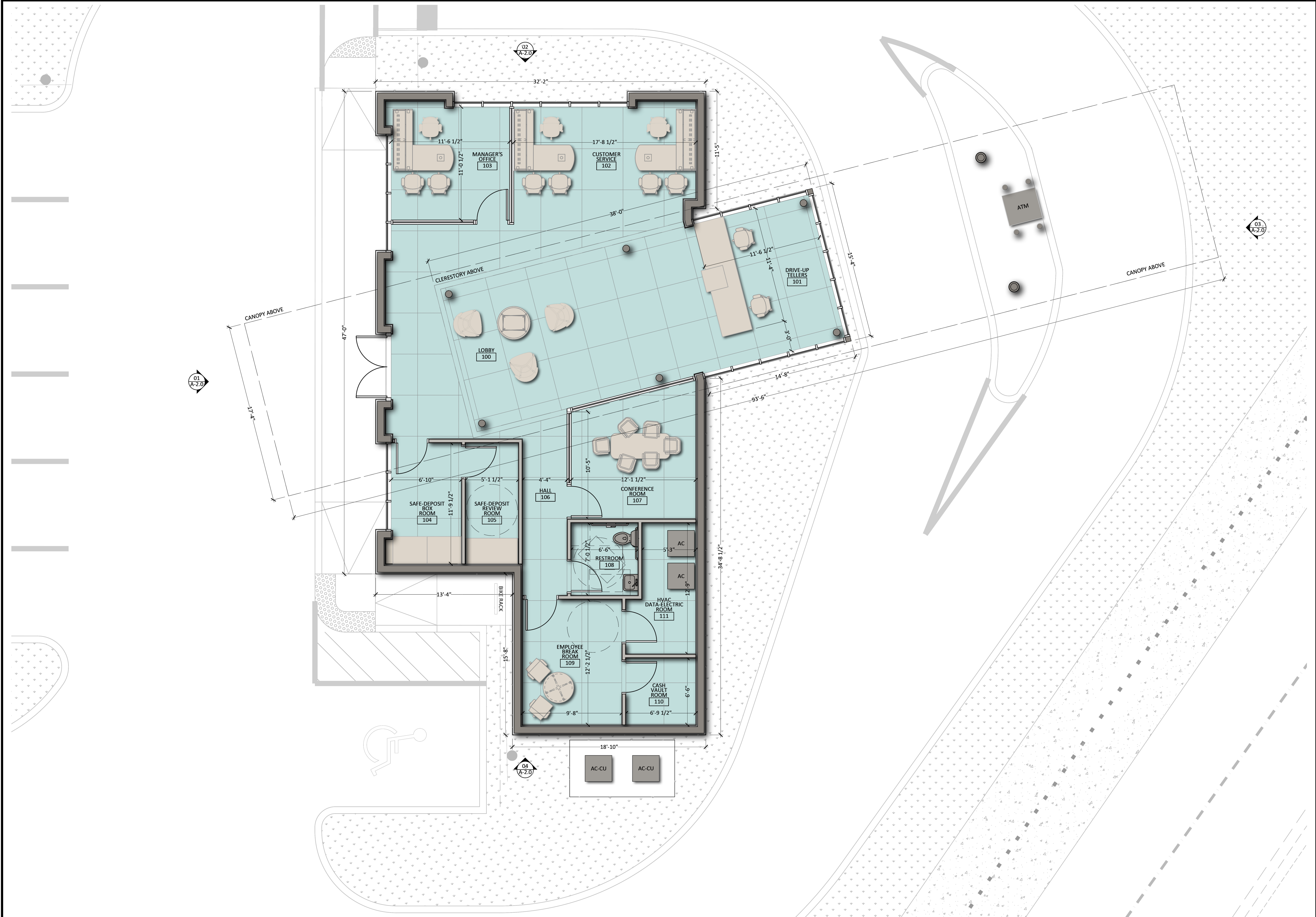




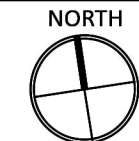
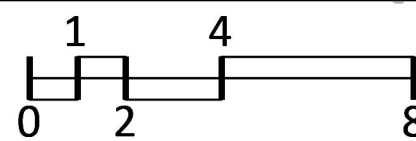






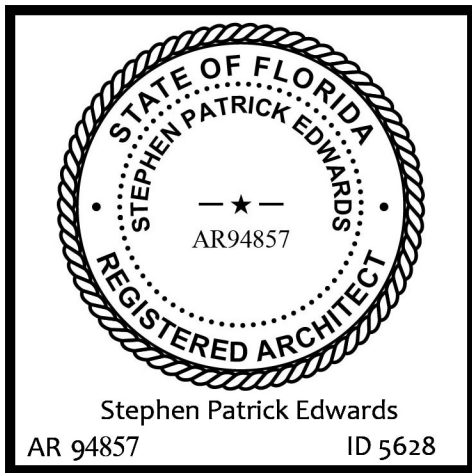


01 FLOOR PLAN



1/4" = 1'-0"

**sea**  
Steve Edwards Architecture LLC  
954.675.0950  
941 S.E. 14 Terrace  
Deerfield Beach Florida  
33441

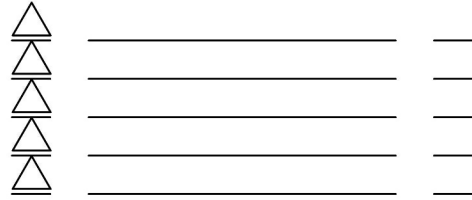


**Stephen P Edwards**  
Digitally signed by  
Stephen P Edwards  
Date: 2024.03.01  
16:49:00 -05'00'

#2003.01-03 SITE PLAN

FLOOR PLAN

OCEAN BANK | AMLI  
8800 NW 36TH STREET  
DORAL, FLORIDA 33178



DRAWN: A.D.-S.E. CHECKED: A.D.-S.E.  
SCALE: 1/4" = 1'-0"  
DATE: 1 MARCH 2024

A-1.1



01

EXTERIOR ELEVATION - WEST FACADE



EXTERIOR FINISHES LEGEND:

METAL FACADE PANEL  
(SOLID / PERFORATED)  
COLOR: WHITE

METAL CANOPY PANEL  
(SOLID / PERFORATED)  
COLOR: WHITE

ALUMINUM COLUMN ENCLOSURE  
COLOR: WHITE

METAL COPING (PREFINISHED)  
COLOR: WHITE

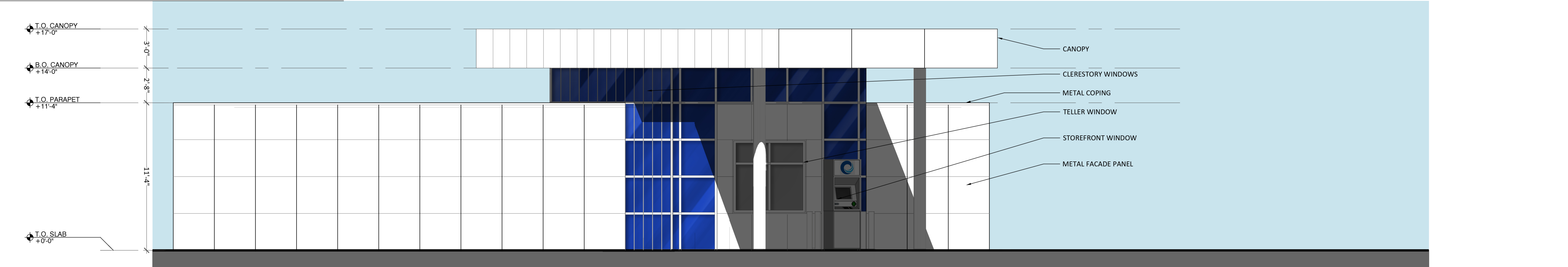
GLASS STOREFRONT WINDOW  
COLOR: BLUE

GLASS CLERESTORY WINDOWS  
COLOR: BLUE

GLASS TELLER WINDOW  
COLOR: GREY

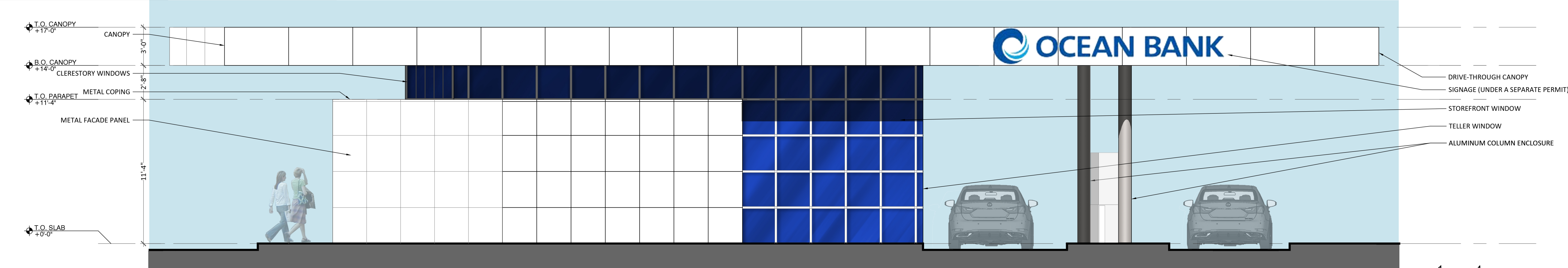
02

EXTERIOR ELEVATION - NORTH FACADE



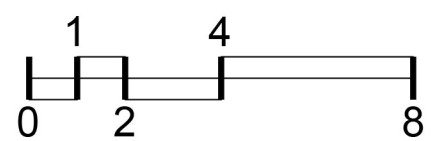
03

EXTERIOR ELEVATION - EAST FACADE



04

EXTERIOR ELEVATION - SOUTH FACADE



**sea**

Steve Edwards Architecture LLC  
954.675.0950  
941 S.E. 14 Terrace  
Deerfield Beach Florida  
33441

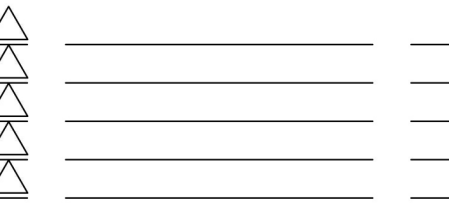
STATE OF FLORIDA  
STEPHEN PATRICK EDWARDS  
REGISTERED ARCHITECT  
AR 94857  
Stephen Patrick Edwards  
ID 5628

**Stephen P Edwards**  
Digitally signed by  
Stephen P Edwards  
Date: 2024.03.01  
16:58:30 -05'00'

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#2003.01-03 SITE PLAN  
EXTERIOR ELEVATIONS



DRAWN: A.D.-S.E. CHECKED: A.D.-S.E.  
SCALE: 1/4" = 1'-0"  
DATE: 1 MARCH 2024

A-2.0



RENDERING - FROM SOUTHWEST:



RENDERING - FROM NORTHWEST:



RENDERING - FROM SOUTHEAST:



RENDERING - FROM NORTHEAST:



s

e

a

Steve Edwards Architecture LLC  
954.675.0950  
941 S.E. 14 Terrace  
Deerfield Beach Florida  
33441

STATE OF FLORIDA  
STEPHEN PATRICK EDWARDS  
AR94857  
REGISTERED ARCHITECT

Stephen Patrick Edwards  
AR 94857 ID 5628

Stephen P  
Edwards  
Digitally signed by  
Stephen P Edwards  
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#2003.01-03 SITE PLAN  
RENDERINGS  
OCEAN BANK | AMLI  
8800 NW 36TH STREET  
DORAL, FLORIDA 33178

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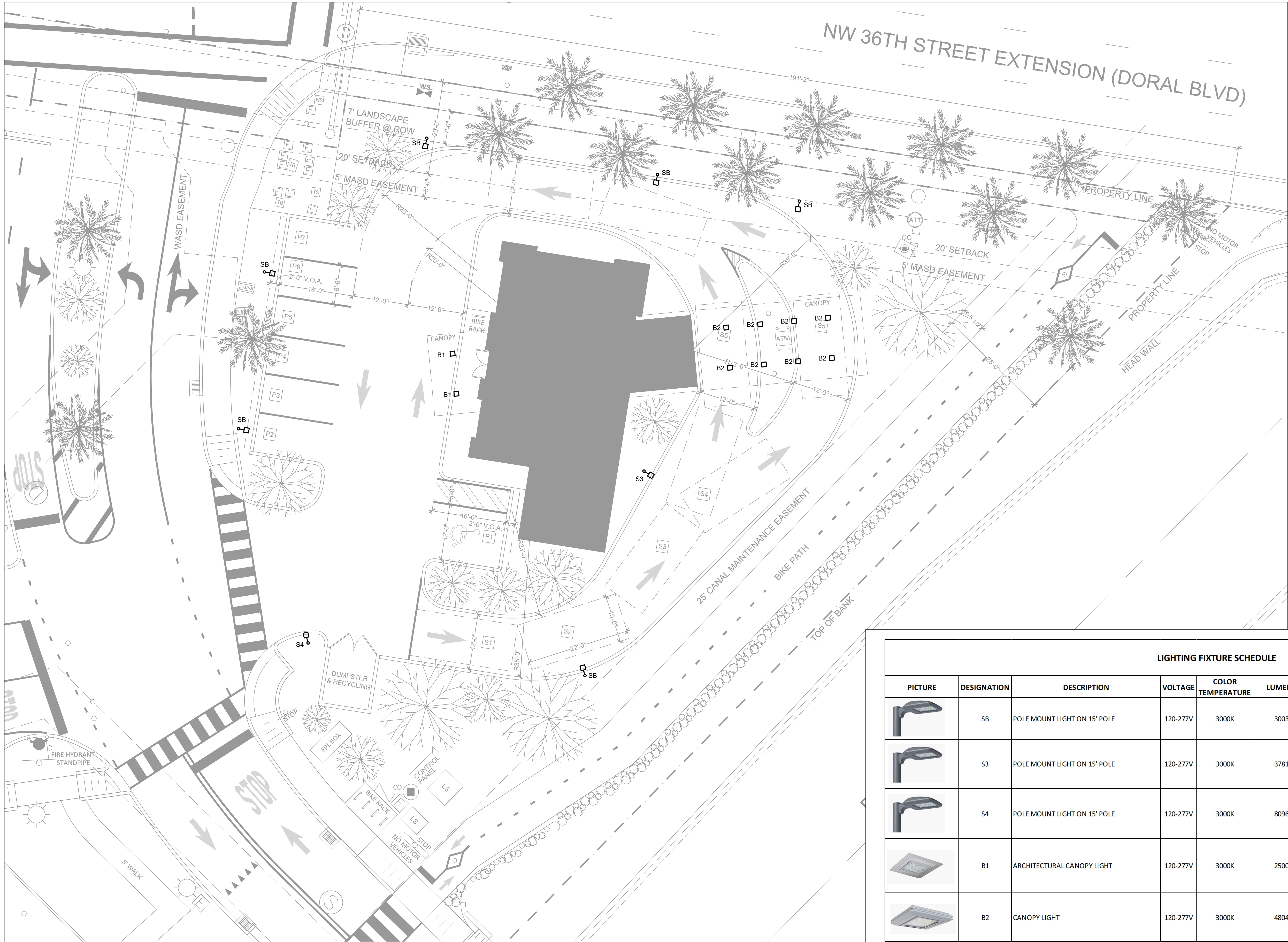
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DRAWN: A.D.-S.E. CHECKED: A.D.-S.E.






SCALE: NTS

DATE: 1 MARCH 2024

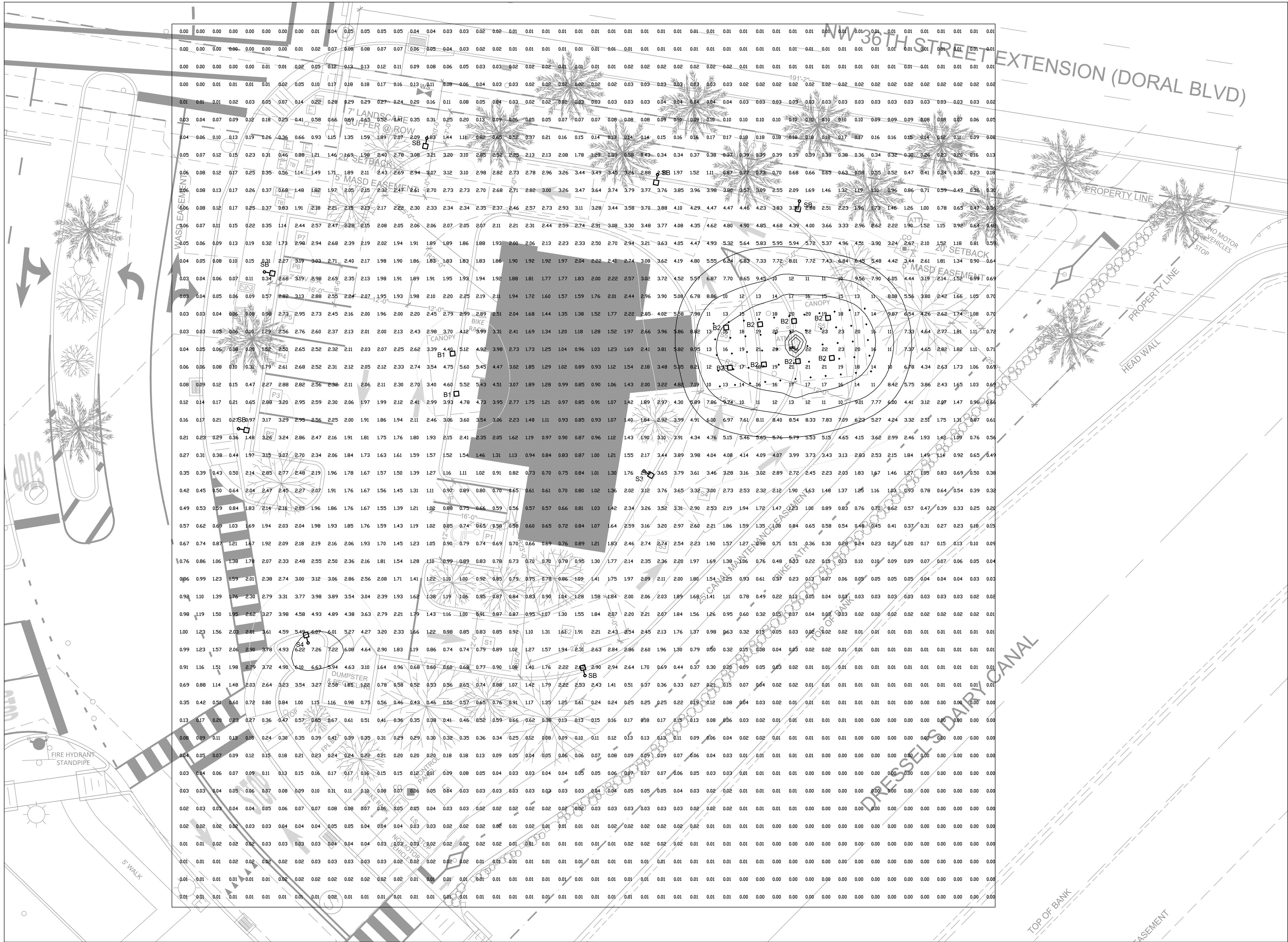




GENERAL NOTES  
1. ALL POLE LIGHTS SHOWN ARE 15' HIGH.

LIGHTING FIXTURE SCHEDULE								
PICTURE	DESIGNATION	DESCRIPTION	VOLTAGE	COLOR TEMPERATURE	LUMENS	POWER	MANUFACTURER	MODEL NUMBER
	SB	POLE MOUNT LIGHT ON 15' POLE	120-277V	3000K	3003	27W	SIGNIFY GARDCO PUREFORM	P15-P-A02-730-BLC
	S3	POLE MOUNT LIGHT ON 15' POLE	120-277V	3000K	3781	27W	SIGNIFY GARDCO PUREFORM	P15-P-A02-730-T3M
	S4	POLE MOUNT LIGHT ON 15' POLE	120-277V	3000K	8096	60W	SIGNIFY GARDCO PUREFORM	P15-P-A02-730-T4S
	B1	ARCHITECTURAL CANOPY LIGHT	120-277V	3000K	2500	24W	SIGNIFY	SFCR-5W-24L-250-WW-G2
	B2	CANOPY LIGHT	120-277V	3000K	4804	38W	SIGNIFY GARDCO SLENDERFORM	SFC-5W-48L-250-WW-G2

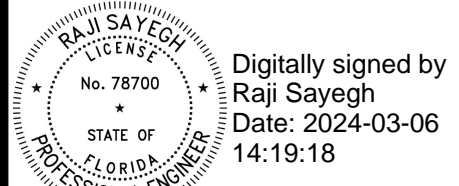




SITE PHOTOMETRICS RESULTS			
AREA	Eav (FC)	Emin (FC)	Emax (FC)
36TH ST PROPERTY LINE	0.11	0.01	0.29
CANAL PROPERTY LINE	0.05	0.01	0.28
ATM CANOPY	18	12	24



Steve Edwards Architecture LLC  
954.675.0950  
941 S.E. 14 Terrace  
Deerfield Beach Florida  
33441



Stephen Patrick Edwards  
AR 94857 ID 5628

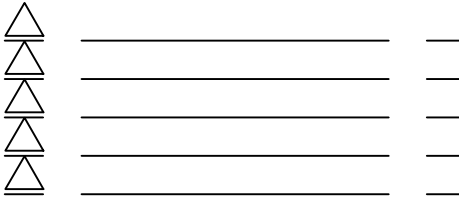


300 SE 2ND STREET, STE 600  
FORT LAUDERDALE, FL 33301  
PHONE: (954) 933-2446  
www.bildworx.com

1.5 INCHES = 1' 0\"/>

OCEAN BANK | AMLI  
8800 NW 36TH STREET  
DORAL, FLORIDA 33178

#2003.01-03 CONCEPT DESIGN  
ELECTRICAL SITE PLAN



DRAWN: AK	CHECKED: RS
SCALE: 3/32" = 1'-0"	
DATE: 1/26/2024	